

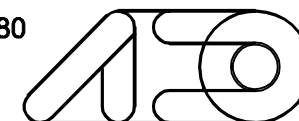
(MULTI OCCUPANCY) PROPOSED UNIT DEVELOPMENT (MULTI OCCUPANCY)
AT No 8 YOOLOOMA STREET GRIFFITH NSW
FOR THE DICKIE FAMILY
LOT 11 DP 758476

FT
S T U D I O
design

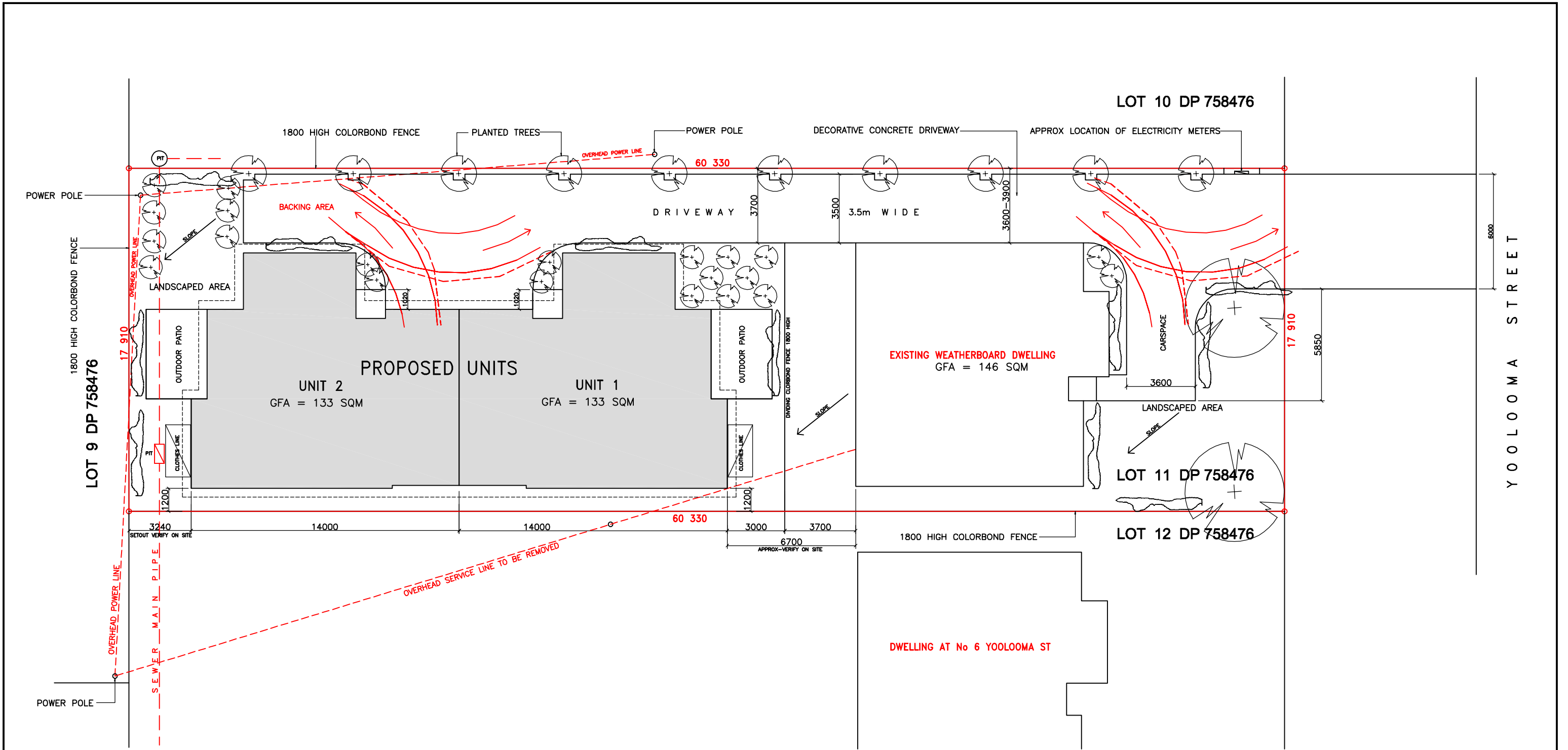


Frank Tabotta
Residential, Commercial and Industrial Design

9 Doongara St. Griffith NSW 2680
PH (02) 6964 4120
EMAIL: ftabotta@gmail.com




Job No:	Drawing No:	0-06
Date: MAY 2021	Scale:	Issue No:
Designed:	Drawn:	Checked:

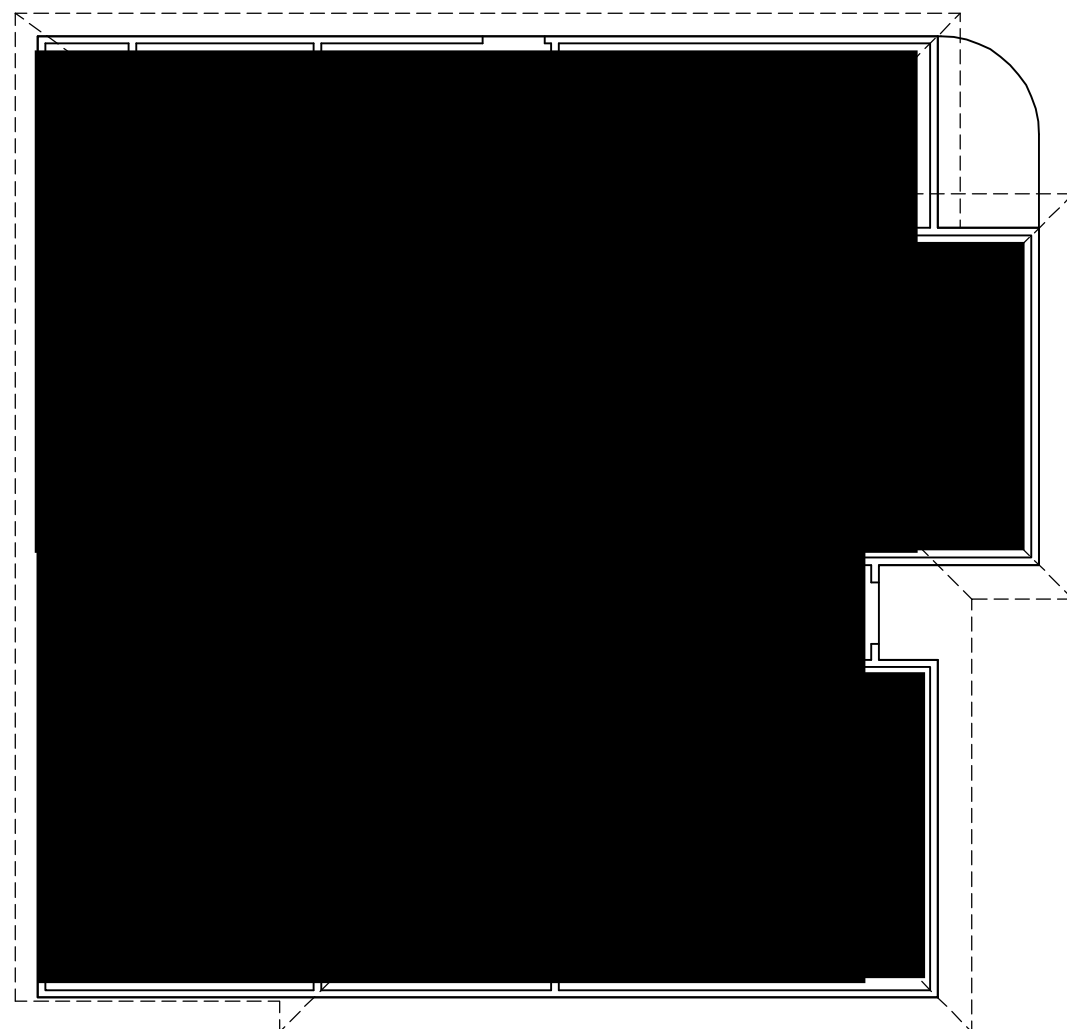


CALCULATED AREAS:
ALLOTMENT AREA=1081 SQM
GRDCP PRECINCT: HOSPITAL
MAXIMUM FSR = 1:1 IE: 412:1081 = 0.38 < 1.0
AREA OF EXISTING DWELLING=156 SQM
AREA OF UNIT 1=143 SQM
AREA OF UNIT 2=143 SQM
AREA OF DRIVEWAY=265 SQM
REMAINING UNBUILT AREA=374 SQM (APPROX 35% OF TOTAL)
LANDSCAPED AREA=281 SQM (APPROX 26% OF TOTAL)

SITE PLAN

(STORMWATER DETAILS AND ON SITE DETENTION TO BE TO ENGINEER'S DRAWINGS WITH THE CONSTRUCTION CERTIFICATE)
SETOUT OF BUILDING TO BE CARRIED OUT BY A REGISTERED SURVEYOR

Figured dimensions to be used in preference to scaled dimensions. Contractor must verify all dimensions on site. Refer any discrepancies to Building Designer	ISSUE	DATE	DESCRIPTION	DRAWN	CHECKED	PROJECT_MANAGER	Frank Tabotta Residential, Commercial and Industrial Design 9 Doongara St. Griffith NSW 2680 PH (02) 6964 4120 FAX (02) 6964 7520 	Project PROPOSED DUPLEX DEVELOPMENT AT No 8 YOOLOOMA STREET GRIFFITH NSW FOR THE DICKIE FAMILY	Property Title LOT 11 DP 758476	Job No.		Drawing No. 1-06	
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CORRUGATED COLORBOND ROOF

COLORBOND GUTTER AND FASCIA

SELECTED FACE BRICKWORK

ALUMINIUM FRAMED SLIDING DOOR

ALUMINIUM FRAMED WINDOWS

APPROX LOCATION OF INSULATED OVERHEAD ELECTRICITY SUPPLY

CORRUGATED COLORBOND ROOF

COLORBOND GUTTER AND FASCIA


5000 APPROX HEIGHT

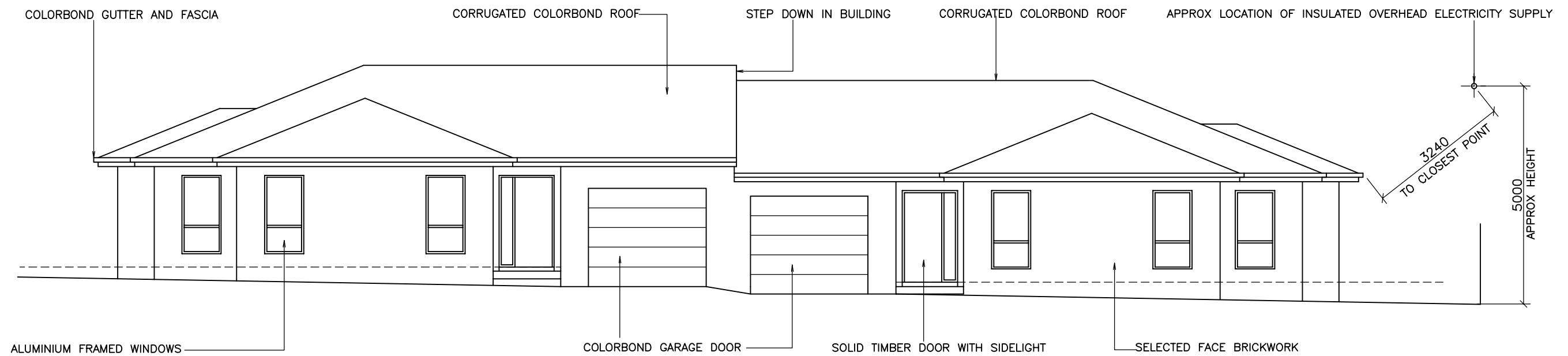
3800 TO CLOSEST POINT

ALUMINIUM FRAMED WINDOWS

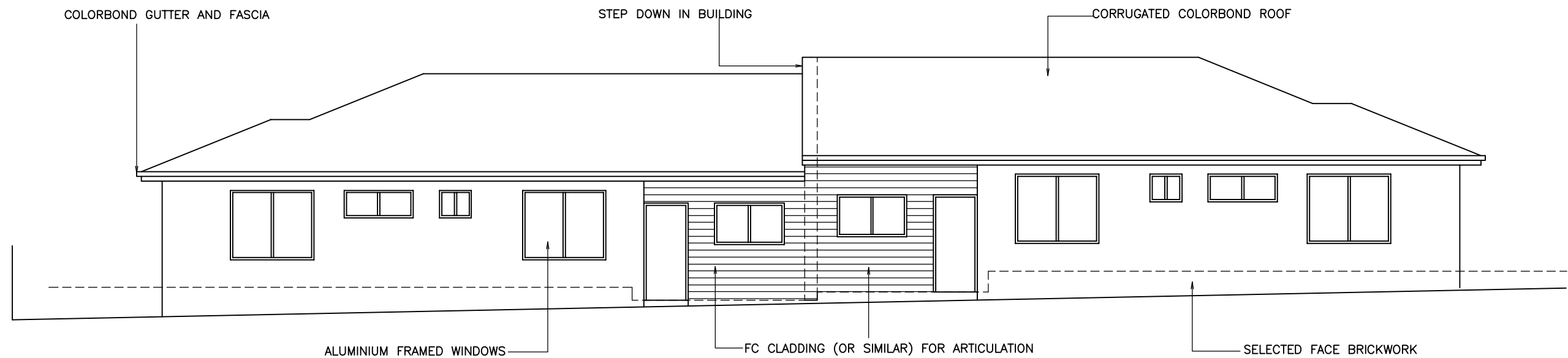
ALUMINIUM FRAMED SLIDING DOOR

SELECTED FACE BRICKWORK


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	Date:	Scale:	Issue No.										
	MAY 2021	1:100											
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NORTH ELEVATION



SOUTH ELEVATION

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	Date:	Scale:	Issue No:										
	MAY 2021	1:100											
	Designed:	Drawn:	Checked:										

BUILDER IS TO ENSURE THE BUILDING MEETS ALL REQUIREMENTS OF THE BASIX CERTIFICATE ISSUED WITH THESE PLANS, INCLUDING THE FOLLOWING:

UNIT 1

HOT WATER SYSTEM TO BE GAS INSTANTANEOUS WITH MINIMUM 6 STAR RATING
GAS COOKTOP TO BE USED WITH UNDERBENCH ELECTRIC OVEN
1 PHASE REVERSE CYCLE 6 STAR AIR CONDITIONING IS TO BE USED WITH
CEILING FANS TO LIVING & BEDROOM AREAS FOR COOLING CYCLE & FOR HEATING CYCLE
INSULATION TO WALLS TO BE MINIMUM R2.5 BATTS
INSULATION TO CEILING TO BE MINIMUM R4 BATTS
INSULATION TO ROOF TO BE SARKING

ARTIFICIAL LIGHTING

LED LIGHTING IS REQUIRED TO BE INSTALLED TO
ALL LIVING AREAS INCLUDING THE KITCHEN
AS WELL AS BEDROOMS, BATHROOM, ENSUITE, HALLWAYS AND LAUNDRY

WATER

TOTAL AREA OF GARDEN AND LAWN TO BE IRRIGATED = 52 SQM
AREA OF INDIGENOUS OR LOW WATER USE SPECIES = 20 SQM
NO RAINWATER TANK IS REQUIRED

SHOWER HEADS TO HAVE MINIMUM RATING OF 4
TOILET FLUSHING SYSTEM TO HAVE A MINIMUM RATING OF 5
KITCHEN TAPS ARE TO HAVE A MINIMUM RATING OF 5
BASIN AND VANITY TAPS ARE TO HAVE A MINIMUM RATING OF 5

WINDOWS & DOORS

GENERALLY, WINDOWS & DOORS ARE TO BE STANDARD ALUMINIUM FRAMED
WITH SINGLE CLEAR GLAZING
ENTRY DOOR UNIT TO BE SOLID TIMBER PANEL WITH CLEAR SIDE PANEL
SEE BASIX CERTIFICATE FOR U VALUE & SHGC RATING FOR EACH INDIVIDUAL WINDOW

UNIT 2

HOT WATER SYSTEM TO BE GAS INSTANTANEOUS WITH MINIMUM 6 STAR RATING
GAS COOKTOP TO BE USED WITH UNDERBENCH ELECTRIC OVEN
1 PHASE REVERSE CYCLE 6 STAR AIR CONDITIONING IS TO BE USED WITH
CEILING FANS TO LIVING & BEDROOM AREAS FOR COOLING CYCLE & FOR HEATING CYCLE
INSULATION TO WALLS TO BE MINIMUM R2.5 BATTS
INSULATION TO CEILING TO BE MINIMUM R4 BATTS
INSULATION TO ROOF TO BE SARKING

ARTIFICIAL LIGHTING

LED LIGHTING IS REQUIRED TO BE INSTALLED TO
ALL LIVING AREAS INCLUDING THE KITCHEN
AS WELL AS BEDROOMS, BATHROOM, ENSUITE, HALLWAYS AND LAUNDRY

WATER

TOTAL AREA OF GARDEN AND LAWN TO BE IRRIGATED = 72 SQM
AREA OF INDIGENOUS OR LOW WATER USE SPECIES = 30 SQM
NO RAINWATER TANK IS REQUIRED

SHOWER HEADS TO HAVE MINIMUM RATING OF 4
TOILET FLUSHING SYSTEM TO HAVE A MINIMUM RATING OF 5
KITCHEN TAPS ARE TO HAVE A MINIMUM RATING OF 5
BASIN AND VANITY TAPS ARE TO HAVE A MINIMUM RATING OF 5

WINDOWS & DOORS

GENERALLY, WINDOWS & DOORS ARE TO BE STANDARD ALUMINIUM FRAMED
WITH SINGLE CLEAR GLAZING
ENTRY DOOR UNIT TO BE SOLID TIMBER PANEL WITH CLEAR SIDE PANEL
SEE BASIX CERTIFICATE FOR U VALUE & SHGC RATING FOR EACH INDIVIDUAL WINDOW

SPECIFICATION

GENERAL


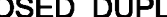
- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimetres unless noted otherwise.
- All dimensions shall be verified on site.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- BCA refers to the Building Code of Australia - Volume 2, Housing Provisions.

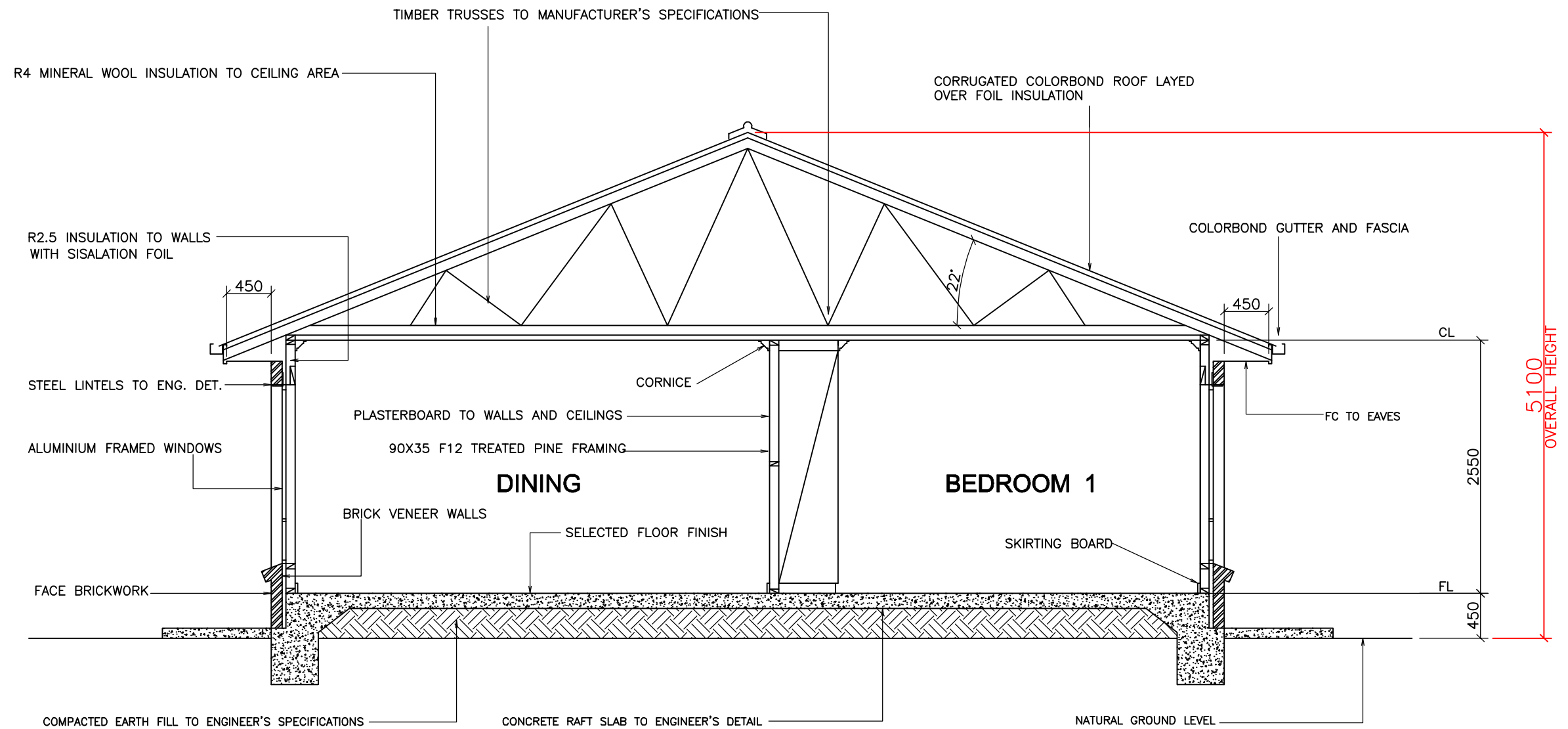
STATUTORY REQUIREMENTS

- All work to be carried out in accordance with the BCA, conditions imposed by the local authority and the commitments outlined in the relevant Basix certificate.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building Act.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner.
On completion the builder shall remove the convenience.

BCA REQUIREMENTS

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of BCA.
- All excavations and underfloor fill shall...be in accordance with the engineer's details and Part 3.2.2 of BCA.
- Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.3 of BCA.
- Provide adequate cross ventilation 'to space under suspended ground floors in accordance with Part 3.4.1 of BCA. Sub floor access 'to be provided as indicated on plan.
- Stormwater drainage shall be carried out in accordance with Part 3.1.2 of BCA.
- All timber framework shall comply with Part 3.4.2 of BCA or AS1684.
- Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- Strip and sheet flooring shall be installed in accordance with AS1684.
- All metal fittings used in structural timber joints and bracing must have corrosion protection.
- Steel framing shall be in accordance with manufacturer's recommendations and Part 3.4.2 of BCA.
- All roof cladding shall comply with Part 3.5.1 of BCA and be installed in accordance with manufacturer's recommendations.
- Gutters and down pipes shall be in accordance with Part 3.5.2 of BCA.
- Sarking shall comply with AS/NZS4200.1&2. '
- Flashings shall comply with Part 3.3.4 of BCA.
- Clay brickwork shall comply with Part 3.3 of BCA, AS/NZS4455, AS/NZS4456 & AS3700.'
- Damp proof courses shall comply with Part 3.3.4 of BCA
- Cavity ventilation must be provided in accordance with Part 3.3.4 of BCA.
- Mortar shall comply with Part 3.3.1 of BCA and joint tolerances shall be in accordance with AS3700.
- Masonry accessories shall comply with Part 3.3.3 of BCA. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with Part 3.3.3 of BCA and be protected from corrosion in accordance with Part 3.4.4 of BCA.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of BCA. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations.
- All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in the Schedule of Works.
- Windows and doors shall be manufactured and installed in accordance with AS2047.
- All glazing shall comply with Part 3.6 of BCA.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3500, and be carried out by a licensed plumber.
- All electrical work shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed electrician.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Provide and install hard wired smoke alarms in accordance with AS3786 and Part 3.7.2 of BCA.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.
- Building is to be sealed to the requirements of Part 3.12.3 of BCA, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW Part 3.12.5 of BCA, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.

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	<div>Date:</div> <div>MAY 2021</div>		<div>Scale:</div>		<div>Issue No:</div>								
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SECTION A - A

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										MAY 2021	1:50		
										Designed:	Drawn:	Checked:	