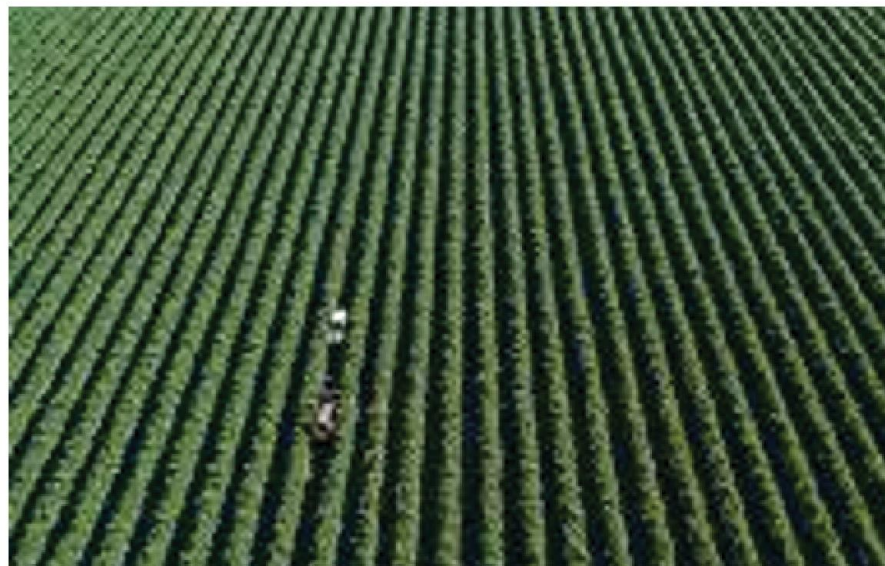


STATEMENT OF ENVIRONMENTAL EFFECTS

Dee Vine Estate – *Cellar Door Premises*



Estate Range



17 March 2021

Document Control

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Revision History

VERSION	DATE	DETAILS	AUTHOR	AUTHORISATION
V1	17 March 2021	FINAL	Sedat Erol	 David Ireland

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LIST OF ACRONYMS

DA	Development Application
DCP	Development Control Plan
LEP	Local Environmental Plan
SEPP	State Environmental Planning Policy

1 INTRODUCTION

PSA Consulting has been engaged by Dee Vine Estate to prepare this Statement of Environmental Effects (SEE) to accompany a Development Application (DA) seeking Council's consent for the '*cellar door premises*' use at the Dee Vine Winery located at Farm 576 Rossetto Road, Beelbangera (Lot 1 DP1035641, a.k.a. 244 Rossetto Road BILBUL NSW 2680) (the subject site).

Dee Vine Estate is a winery established from the traditional family vineyards of Michele and Domenico Scarfone, two brothers who emigrated from Southern Italy in 1956 to settle at Nericon within the Riverina. They planted the first vines on the property the following year, with the vision of producing traditional Italian table wine for the Australian wine drinker. Three generations later, Adrian Bianchini and Fernando Rombola have significantly expanded from their grandfather's original parcel of land, whilst following the same principles; a passion for fine wine and dedication to produce a remarkably distinctive product. Dee Vine Estate winery thus has a well-established family tradition in viticulture, spanning across two continents and four generations.

The subject site, formerly part of Beelgara Estate Wines was acquired by Dee Vine Estate in 2016. Since acquisition, the applicant has undertaken repairs and refurbishments at the site, under separate DA, to reinforce the importance and pride that they have embedded into their vineyards to continuously produce fine wines.

This DA seeks to formalise the '*cellar door premises*' use that has been historically carried out at the site, by obtaining development consent. This DA does not propose to alter the established operations of the winery, including production volumes, staff numbers, car parking or trading hours.

This SEE describes the site and surrounds, details the extent of the proposed development and addresses the requirements of the relevant environmental planning instruments and policies.

2 SUBJECT SITE

2.1 KEY SITE DETAILS

ADDRESS	Farm 576 Rossetto Road, Beelbangera (a.k.a. 244 Rossetto Road BILBUL NSW 2680)
PROPERTY DESCRIPTION AND REGISTERED OWNERS	Lot 1 DP1035641 – Dee Vine Estate Pty Ltd (46,722 m ²) Lot 1 DP625158 – A & FM Holdings Pty Ltd (2,184 m ²) Lot 2 DP1035641 – AFM Management Pty Ltd (30,695 m ²) Lot 2 DP1140738 – AFM Management Pty Ltd (68,984 m ²)
TOTAL SITE AREA	14.8585 ha
APPLICANT	Dee Vine Estate
LOCAL AUTHORITY	Griffith City Council
EXISTING USE	Rural Industry
PROPOSED USE	Cellar door premises
ZONING	RU1 Primary Production
ENVIRONMENTAL PLANNING INSTRUMENT	Griffith Local Environmental Plan 2014
PERMISSIBILITY	Permitted with consent

2.2 SITE AND SURROUNDS

The subject site is located at Farm 576 Rossetto Road, Beelbangera a.k.a. 244 Rossetto Road BILBUL NSW 2680. The subject site and immediate surrounds are shown in Figure 1.

The site accommodates the existing winery located centrally on the site and includes the winery building where vintages are pressed, fermented, stored, bottled and distributed as finished wine products. The Dee Vine Winery processes up to a maximum of 30,000 tonnes of grapes per year. The winery operations are supported by various ancillary structures including a warehouse, stormwater dam, waste water treatment ponds, storage tanks and a manager's residence.

Existing vehicular access to the site is achieved via the existing driveway and bridge over the irrigation channel to Rossetto Road (a sealed road), and existing truck access is via Gorman Road (an unsealed road).

The subject site is located on rural land zoned RU1 Primary Production, pursuant to the provisions of Griffith Local Environmental Plan 2014 (Griffith LEP). The property is used for horticultural activities, including vineyards, winery, orchards and other rural industries. There are four large waste water storage dams to the north of the site on Lot 350 DP751728 and a stormwater dam is also located on Lot 1 DP1035641.



Figure 1: Subject Site & Aerial Photograph (Nearmap, dated 31 January 2021)



Figure 2: Subject Site & Cadastre (NSW Planning Portal)

3 PROPOSED DEVELOPMENT

This DA seeks to formalise approval of the ‘cellar door premises’ use that has been historically carried out as an ancillary activity to the to support the winery, by obtaining development consent. This DA does not propose to alter any other operations of the winery, including production volumes, staff numbers, car parking or trading hours. The existing ‘cellar door premises’ use has a Gross Floor Area (GFA) of 102.6 m².

A ‘cellar door premises’ is defined in the Dictionary to Griffith LEP as being:

cellar door premises means a building or place that is used to sell wine by retail and that is situated on land on which there is a commercial vineyard, and where most of the wine offered for sale is produced in a winery situated on that land or is produced predominantly from grapes grown in the surrounding area.

Note — Cellar door premises are a type of **retail premises**—see the definition of that term in this Dictionary.

The location of the ‘cellar door premises’ within the Dee Vine Winery site is shown in **Figure 3**, with a Floor Plan and Site photos provided in **Figure 4** and **Figure 5** respectively. Drawings and site photographs accompanying this SEE are also provided at **Appendix 1**.

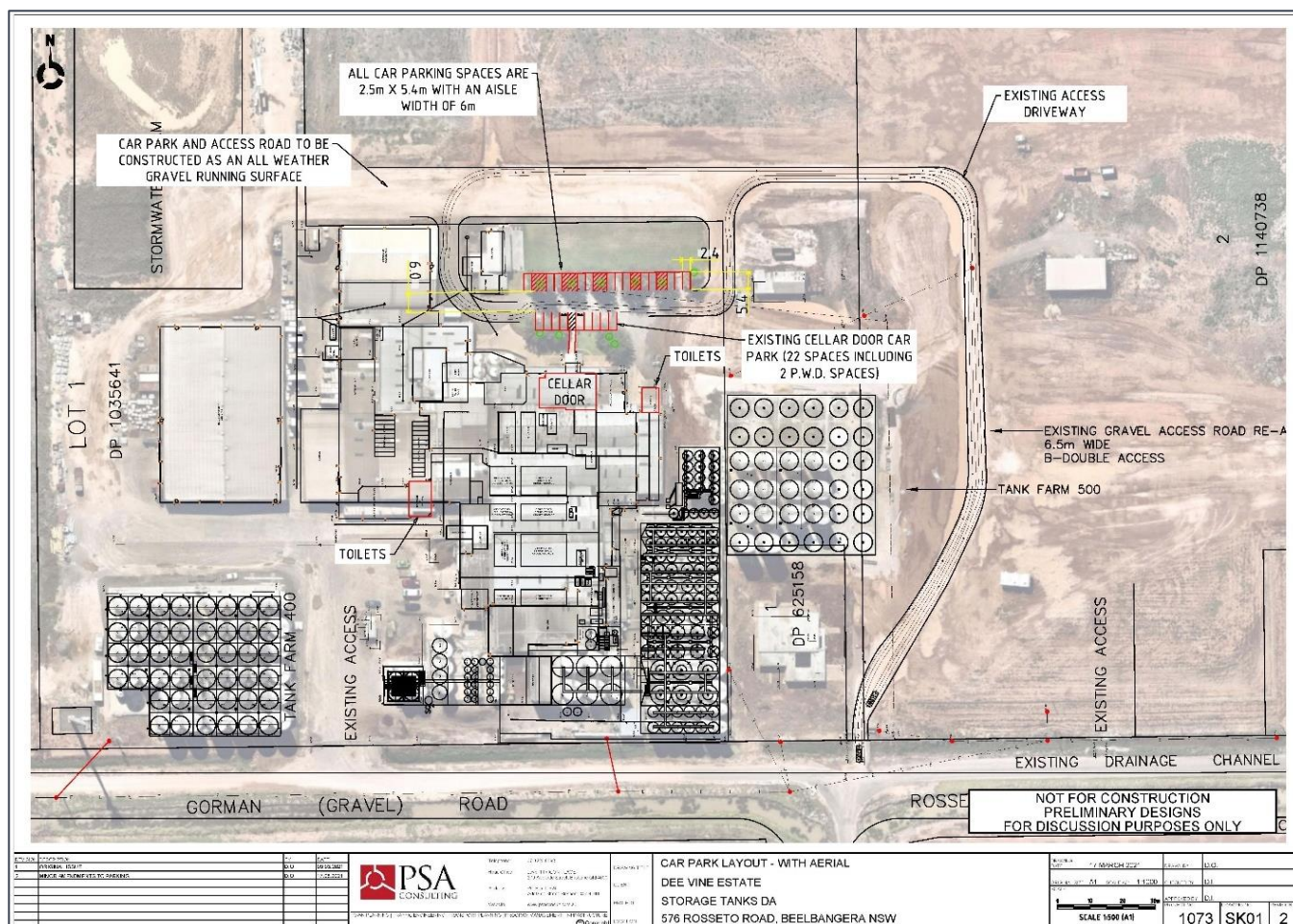


Figure 3: Dee Vine Winery - Cellar Door, Car Parking & Amenities Context Plan

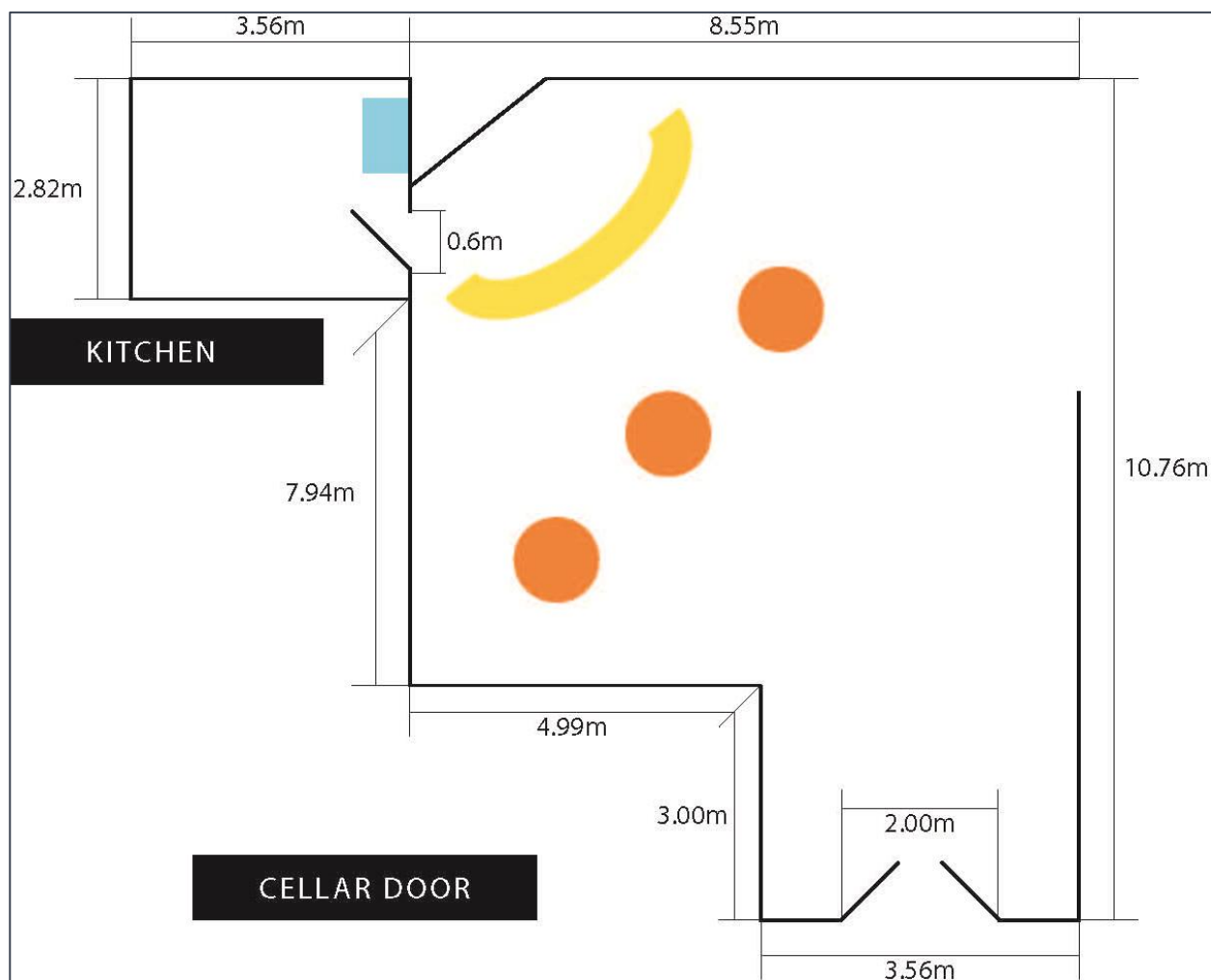


Figure 4: Cellar Door Premises and back of house plan



Figure 5: Cellar Door Premises photographs

3.1.1 Access, Parking and Amenities

The site has existing vehicular access and 22 off-street parking spaces available for the use of visitors and staff to the cellar door. The access driveway and parking areas will be constructed of a compacted, all weather base with a gravel running surface. All parking dimensions and aisle widths comply with the requirements of AS2890. Existing toilets, including accessible toilet facilities approved under previous consents, are available at the site and remain unchanged.

3.1.2 Proposed Trading Hours

Dee Vine Winery seeks consent to operate the Cellar door premises during standard business hours, generally between 9.00 am to 5.00 pm Monday to Saturday.

3.1.3 Signage and Illumination

No new business identification signage or external illumination forms part of this DA.

4 ENVIRONMENTAL ASSESSMENT

4.1 SECTION 4.15(1)(a)(i) THE PROVISIONS OF ANY ENVIRONMENTAL PLANNING INSTRUMENT

4.1.1 GRIFFITH LOCAL ENVIRONMENTAL PLAN 2014

4.1.1.1 Zoning and Permissibility

As shown in **Figure 6**, the subject site is identified within the RU1 Primary Production Zone pursuant to the provisions of Griffith Local Environmental Plan 2014 (Griffith LEP).



Figure 6: Griffith LEP Zoning Map Extract (NSW Planning Portal)

The land use Table for the RU1 Primary Production zone provides the following:

Zone RU1 Primary Production

1 Objectives of zone

- To encourage sustainable primary industry production by maintaining and enhancing the natural resource base.
- To encourage diversity in primary industry enterprises and systems appropriate for the area.
- To minimise the fragmentation and alienation of resource lands.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.
- To permit a range of activities that support the agricultural industries being conducted on the land and limit development that may reduce the agricultural production potential of the land.
- To permit tourist facilities that promote an appreciation of the rural environment and associated agricultural and horticultural activities, while ensuring the continued economic viability of the land.

2 Permitted without consent

Environmental protection works; Extensive agriculture; Home-based child care; Home occupations; Intensive plant agriculture; Water reticulation systems

3 Permitted with consent

Airstrips; Animal boarding or training establishments; Aquaculture; Bed and breakfast accommodation; Building identification signs; Business identification signs; **Cellar door premises**; Cemeteries; Centre-based child care facilities; Correctional centres; Depots; Dual occupancies; Dwelling houses; Eco-tourist facilities; Environmental facilities; Extractive industries; Farm buildings; Farm stay accommodation; Flood mitigation work; Forestry; Function centres; Group homes; Helipads; Home businesses; Home industries; Industrial training facilities; Information and education facilities; Intensive livestock agriculture; Offensive industries; Offensive storage establishments; Open cut mining; Plant nurseries; Recreation areas; Recreation facilities (outdoor); Respite day care centres; Restaurants or cafes; Roads; Roadside stalls; Rural industries; Rural supplies; Rural workers' dwellings; Secondary dwellings; Sewerage systems; Signage; Truck depots; Veterinary hospitals; Warehouse or distribution centres; Waste or resource management facilities; Water supply systems

4 Prohibited

Any development not specified item 2 or 3

The development of a cellar door premises at the site is a land use that is permitted with consent. The Dictionary to Griffith LEP 2014 defines cellar door premises as being:

cellar door premises means a building or place that is used to sell wine by retail and that is situated on land on which there is a commercial vineyard, and where most of the wine offered for sale is produced in a winery situated on that land or is produced predominantly from grapes grown in the surrounding area.

Note—

Cellar door premises are a type of **retail premises**—see the definition of that term in this Dictionary.

The Dee Vine Winery is an *agricultural produce industry* and a *winery*, servicing local grape producers and has a long history at the site. Obtaining Council's consent for the *cellar door premises* use at the site supports is considered to complement and enhance the existing operations and are not anticipated to result in significant impacts or conflict with surrounding land uses.

A winery is defined as "**agricultural produce industry**". Agricultural produce industry means "a building or place used for the handling, treating, processing or packing, for commercial purposes, of produce from agriculture (including dairy products, seeds, fruit, vegetable or other plant material), and includes wineries, flour mills, cotton seed oil plants, cotton gins, feed mills, cheese and butter factories, and juicing or canning plants, but does not include a livestock processing industry". Agricultural produce industry is included within the definition of a **Rural Industries**, which is permissible with Consent in the RU1 Primary Production Zone.

Provided that appropriate management and mitigation measures are implemented, the proposed *cellar door premises* use is not anticipated to result in significant adverse impacts on the surrounding environment which is characterised by a range of agricultural and rural industries similarly included within the RU1 Primary Production Zone. As such, the proposed development is considered to be consistent with the Griffith LEP 2014.

4.1.2 STATE ENVIRONMENTAL PLANNING POLICIES

The proposed *cellar door premises* is not affected by any State Environmental Planning Policies.

4.2 SECTION 4.15(1)(a)(ii) THE PROVISIONS OF ANY DRAFT ENVIRONMENTAL PLANNING INSTRUMENT

There are no relevant draft Environmental Planning instruments that are applicable to the proposed *cellar door premises* use at the site.

4.3 SECTION 4.15(1)(a)(iii) ANY DEVELOPMENT CONTROL PLAN

4.3.1 GRIFFITH DEVELOPMENT CONTROL PLAN

The proposal's compliance with the *Griffith Development Control Plans* is provided in Table 1 below.

Table 1: Griffith DCP Assessment

DEVELOPMENT CONTROL PLAN	ASSESSMENT
DCP No. 1 – Non-Urban Development (2004)	
TABLE 2 GENERAL PROVISIONS FOR DEVELOPMENT OTHER THAN SUBDIVISION OF NON-URBAN LAND	
<p>(A) Bulk, Scale, Setbacks and General Amenity Issues</p> <p>(i) 1(a), 1(b), 1(d) (Rural Residential component only), 1(h), 1(i) (Rural Residential component only)</p> <ul style="list-style-type: none"> The structure is to be setback a minimum of ten (10) metres from the front boundary or setback a minimum of one hundred (100) meters from the front boundary where the lot has frontage to an "arterial road" or "proposed by-pass route". (Refer to DCP 28 – Land Use Buffer Controls) <p>(ii) Zone 1(c)</p> <ul style="list-style-type: none"> For allotments 0.5ha and greater – a ten (10) metre setback shall apply to side and rear boundaries. For allotments less than 0.5ha – an eight (8) metre setback shall apply to side and rear boundaries. <p>(iii) Zone 1(e) and 1(g)</p> <ul style="list-style-type: none"> For allotments 0.3 hectares or less – a six (6) metre setback shall apply to all boundaries. For allotments exceeding 0.3 hectares – a ten (10) metre setback shall apply to all boundaries. The establishment of a dwelling ancillary to a lawfully established development in Zone 1(e) must be bona fide ancillary to, or associated with, another existing or proposed approved development on the same site. Note: With the exception of a nursery, 'agriculture' is not defined as 'another existing or proposed approved development' in this case. 	<p>N/A</p> <p>There are no new structures proposed to be erected. This proposal involves the formalisation of the existing <i>cellar door premises</i> land use only.</p>
<p>(B) Open Space, Additional Buffer Areas</p> <ul style="list-style-type: none"> A minimum buffer distance (by way of an easement) of fifty (50) metres shall apply from natural watercourses. A minimum buffer distance (by way of an easement) of twenty (20) metres shall apply over drainage lines and canals. A minimum buffer distance (by way of an easement) of forty (40) metres shall apply from adjoining agricultural lands (Refer to DCP 28 – Land Use Buffer Controls). All buffer areas are to be planted out using tree species and shrubs that are suitable to the area. <p>The above information shall be incorporated in the Management Plan to be submitted to Council. (See Table 1, Row h)</p>	<p>N/A</p> <p>There are no new structures proposed to be erected and thus no buffer areas are affected. This proposal is for the <i>cellar door premises</i> land use only.</p>
<p>(C) Landscaping</p> <ul style="list-style-type: none"> The required setback area in sub clause (a) to all boundaries is to be soft landscaped to a minimum of 90% of that part of the lot. 	<p>N/A</p> <p>No changes to the established setback areas are proposed.</p>

DEVELOPMENT CONTROL PLAN	ASSESSMENT
<ul style="list-style-type: none"> No more than 10% of the front yard is to be paved or sealed. <p><i>Note: Soft landscaping can be trees, gardens, lawns and the like of the applicant/owner's choice but does not include improvements such as driveways, parking areas, swimming pools (including coping decking and development ancillary to the pool) and ancillary dwelling structures/sheds/garages and the like.</i></p>	
<p>(D) Site Access</p> <ul style="list-style-type: none"> Where the access way connects to a sealed road, the access way and suitable tapers are to be bitumen sealed or equivalent hard surface between the property boundary and the road carriageway. Where the access connects to a gravel road, the access way and suitable tapers are to be constructed to gravel road standard, between the property boundary and the road carriageway. Concrete pipe culvert with standard headwalls is to be constructed at a suitable location relative to the table drain and clear of the edge of the road carriageway. Design and construction is to be to Council's standard. Existing channel crossings are to be used to service all existing and proposed structures on the allotment. Only one channel crossing per road frontage shall be permitted to be used to access allotments. Where additional channel crossings are proposed consent shall be obtained from Murrumbidgee Irrigation and Council prior to construction. In 1(a) Rural and 1(b) Rural Agricultural Protection zones, where the access connects to a sealed Council road (except arterial roads) and there is no change to the agricultural utilization and/or no additional access points to existing dwellings and the access ways are well constructed and maintained, bitumen sealing will not necessarily be imposed. (Note: Should the development change, then the situation should be reviewed.) <p>Driveways shall be a minimum of six (6) metres wide between the edge of the road carriageway and the property boundary. Internal driveways shall be a minimum of three (3) metres wide.</p>	<p>Complies</p> <p>No changes are proposed to the existing vehicular access via Rossetto Road.</p>
<p>(E) Stormwater Management</p> <p>Refer to DCP 23 - Engineering Requirements for Development for requirements.</p>	<p>Complies</p> <p>Stormwater from the winery is collected by underground pipes and direct to a sump, prior to being discharged into the Stormwater Dam located at the north eastern end of the winery within Lot 1 / DP1035641.</p> <p>All vehicular access, parking and circulation areas are also connected to the existing stormwater management system.</p>
<p>(F) Fire Management</p> <p>(i) All structures where a fire threat has been identified on Council's 'Environmental and Ecological Bushfire Threat' map</p> <ul style="list-style-type: none"> Adequate provision is to be made for the access of firefighting- and emergency service vehicles. An adequate supply of water is to be made available for firefighting purposes. A minimum supply of twenty thousand (20 000) litres of 	<p>N/A</p> <p>The subject site is not identified as being at risk of bushfire.</p>

DEVELOPMENT CONTROL PLAN	ASSESSMENT
<p>water shall be provided solely for firefighting purposes. A suitable connection is to be made available for the purpose of the Rural Fire Service. (Reference Planning NSW ‘Planning for Bushfire Protection’, 2001, Chapter 4: Bushfire Provisions – Development Stage, Chapter 5: Construction Standards for Bushfire Protection)</p> <ul style="list-style-type: none"> • Consultation required with the NSW Rural Fire Service. • Developments shall also incorporate measures to promote bushfire protection through site selection, building design and materials and garden vegetation management. • Rural residential design is encouraged to have a single asset protection zone. • Consideration should be given to grouping rural residential developments into clusters that allow for the establishment of Asset Protection Zones around a group of dwellings rather than having to ensure individual protection for a large number of scattered dwellings. • The provision of adequate and independent static water supplies where mains water is not available shall be made. <p><i>Note: Bushfire protection measures that are essential to the subdivision must occur on the site of the proposed development.</i></p> <p>(ii) General Principles: Fire access trails and firebreaks are to be sensitively sited within the landscape, especially in steep terrain</p> <ul style="list-style-type: none"> • Mowing and slashing is the preferred method of construction of firebreaks. Recommendations for this include: <ul style="list-style-type: none"> - Mowing a strip up the back of the table drain will help to prevent fires. - Avoiding any rare or significant plants during firebreak construction. - Avoid construction of unnecessary firebreaks. - Avoiding areas where there are native shrubs and trees or revegetated zones when constructing firebreaks. - Minimisation of damage to native vegetation. <p>Consultation is required with the Rural Fire Services.</p> <p>Planning NSW Planning for Bushfire Protection 2001 recommendations shall be incorporated in subdivision applications.</p> <p>(iii) Works in association with clubs, community facilities places if assembly and recreation areas.</p> <ul style="list-style-type: none"> • Consultation is required with the Rural Fire Service of NSW for construction works associated with community facilities, places of assembly and recreation areas. <p><i>Note: (Planning NSW ‘s Planning for Bushfire Protection, 2001 document shall be taken into consideration.)</i></p>	

DCP No. 20 – OFF STREET PARKING (2011)

Table 1.7.1 Parking Ratios

Land Use Type	Minimum Car Parking Requirement	<p>The existing ‘cellar door premises’ use has a Gross Floor Area (GFA) of 102.6 m².</p> <p>The ‘cellar door premises’ use at the site is thus required to provide a minimum of 3 x</p>
Cellar door premises	As per retail premises requirement.	

DEVELOPMENT CONTROL PLAN		ASSESSMENT
	Business Premises e) Retail Premises: <i>1 space per 40 m² GFA outside the CBD.</i>	off-street car parking spaces. The site provides 22 x car parking spaces including 2 x accessible spaces for persons with a disability and complies with this clause.

4.4 SECTION 4.15 (1)(a)(iii) ANY PLANNING AGREEMENT OR DRAFT AGREEMENT

N/A, there is no planning agreement or draft planning agreement for the site.

4.5 SECTION 4.15(1)(a)(iv) THE REGULATIONS

There are no applicable regulations in relation to this development application.

4.6 SECTION 4.15(1)(b) THE LIKELY IMPACTS OF THAT DEVELOPMENT

This SEE has described and assessed the likely impacts of the proposed ‘cellar door premises’ land use and associated works. The likely impacts have been found to remain within acceptable limits and consistent with the site’s existing and future planning and development framework.

4.7 SECTION 4.15(1)(c) THE SUITABILITY OF THE SITE FOR THE DEVELOPMENT

The proposed cellar door premises use is considered to be a suitable retail addition to the site, which remains in accordance with the ongoing primary production and rural industry use of the land for viticulture and winery purposes.

The proposed ‘cellar door premises’ land use would provide ongoing support to the existing winery which has a long and established presence on the site (including its earlier use by Beelgara Estate prior to its acquisition by Dee Vine Estate), is located in the RU1 Primary Production zone characterised by a range of horticultural activities and rural industries, and aligns with the Griffith LEP zone objectives, the subject site is considered to be suitable for the development.

4.8 SECTION 4.15(1)(e) THE PUBLIC INTEREST

This SEE demonstrates that the proposed ‘cellar door premises’ land use remains consistent with the zone objectives and land use table of the RU1 Primary Production zone. The proposal would facilitate the further economic and efficient development of the site comprising the Dee Vine Estate winery. Provision of a ‘cellar door premises’ use at the site would enable greater community convenience and interest in the winery for local and visiting customers who wish to experience wine tastings at the place of production, and meet the Dee Vine Estate team members to learn more about the wine varieties, prior to purchasing or ordering their wines.

The proposed development of a cellar door retail offering at the site would support and enhance the operations of the Dee Vine Winery, which in turn supports the local viticultural communities of the Riverina in providing local employment opportunities.

Griffith City Council shall undertake public exhibition and neighbour notification of the DA, in accordance with the Community Participation Plan. Such consultation would enable the local community the opportunity to raise any concerns. PSA Consulting would welcome any opportunity to respond to any internal Council officer and / or external community concerns and issues that may be raised by the public.

As such, the proposed development is considered to be in the public interest.

5 CONCLUSION

Dee Vine Estate seeks consent for the proposed 'cellar door premises' use at the site located at Farm 576 Rossetto Road, Beelbanger.

Dee Vine Estate is a winery established from the traditional family vineyards of Michele and Domenico Scarfone, two brothers who emigrated from Southern Italy in 1956 to settle at Nericon within the Riverina. They planted the first vines on the property the following year, with the vision of producing traditional Italian table wine for the Australian wine drinker. Three generations later, Adrian Bianchini and Fernando Rombola have significantly expanded from their grandfather's original parcel of land, whilst following the same principles; a passion for fine wine and dedication to produce a remarkably distinctive product. Dee Vine Estate winery thus has a well-established family tradition in viticulture, spanning across two continents and four generations.

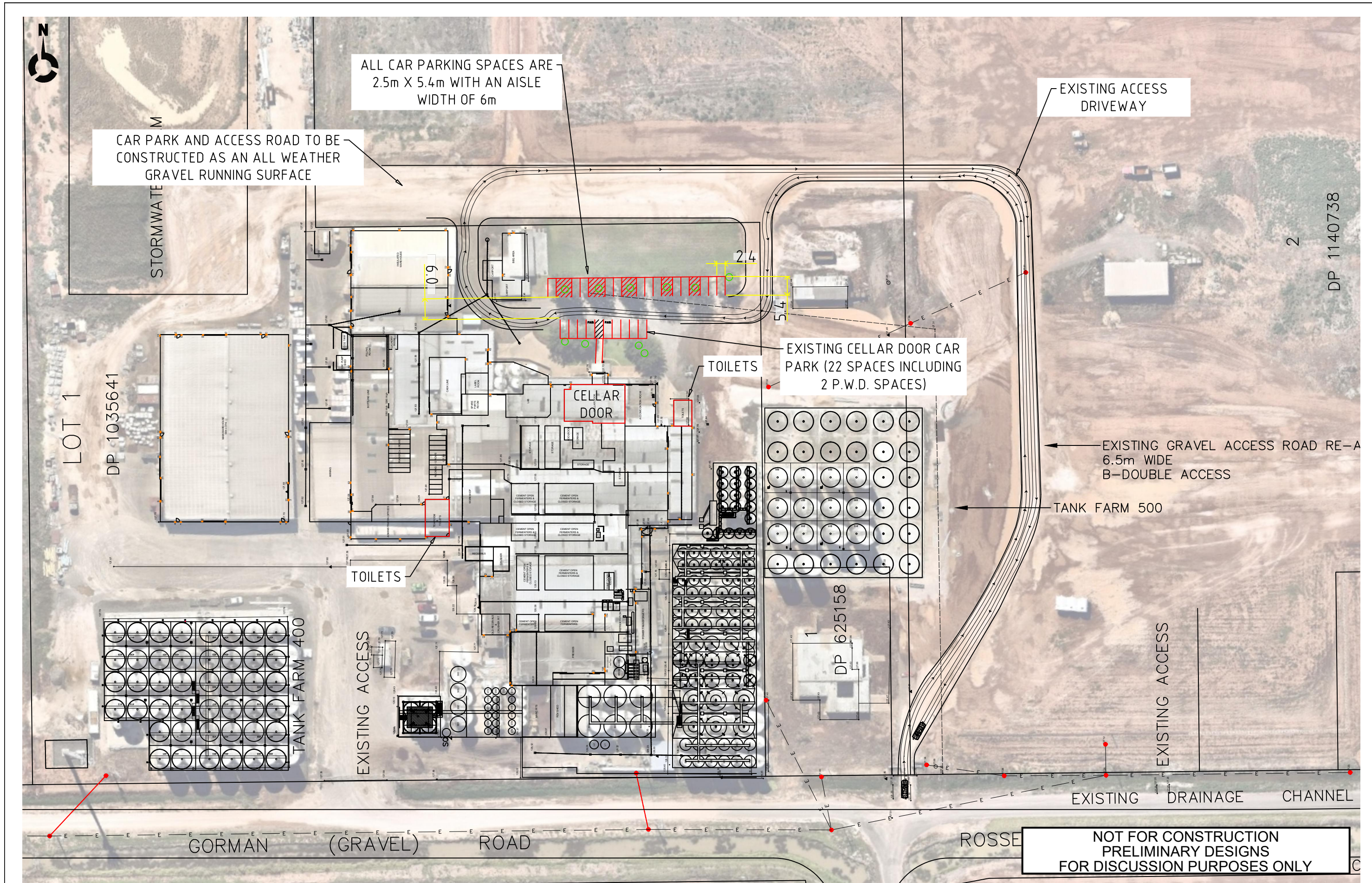
The subject site, formerly part of Beelgara Estate Wines was acquired by Dee Vine Estate in 2016. Since acquisition, the applicant has undertaken repairs and refurbishments at the site, under separate DA, to reinforce the importance and pride that they have embedded into their vineyards to continuously produce fine wines.

This DA seeks to formalise the '*cellar door premises*' use that has been carried out at the site, by obtaining development consent. This DA does not propose to alter the established operations of the winery, including production volumes, staff numbers, car parking or trading hours.

This Statement of Environmental Effects has been prepared in accordance with the requirements of the relevant State and Local statutory planning requirements as assesses all relevant impacts of the proposed development. The assessment has shown that the proposed '*cellar door premises*' use would provide ongoing support to the existing viticulture and winery operations, align with the RU1 Primary Production zone objectives, and would not result in any significant adverse impacts upon the surrounding area. Accordingly, this development is recommended for approval, subject to relevant and reasonable conditions.

APPENDIX 1: DRAWINGS

AP01



REVISION	DESCRIPTION	BY	DATE
1	ORIGINAL ISSUE	D.O.	09.03.2021
2	MINOR AMENDMENTS TO PARKING	D.O.	17.03.2021



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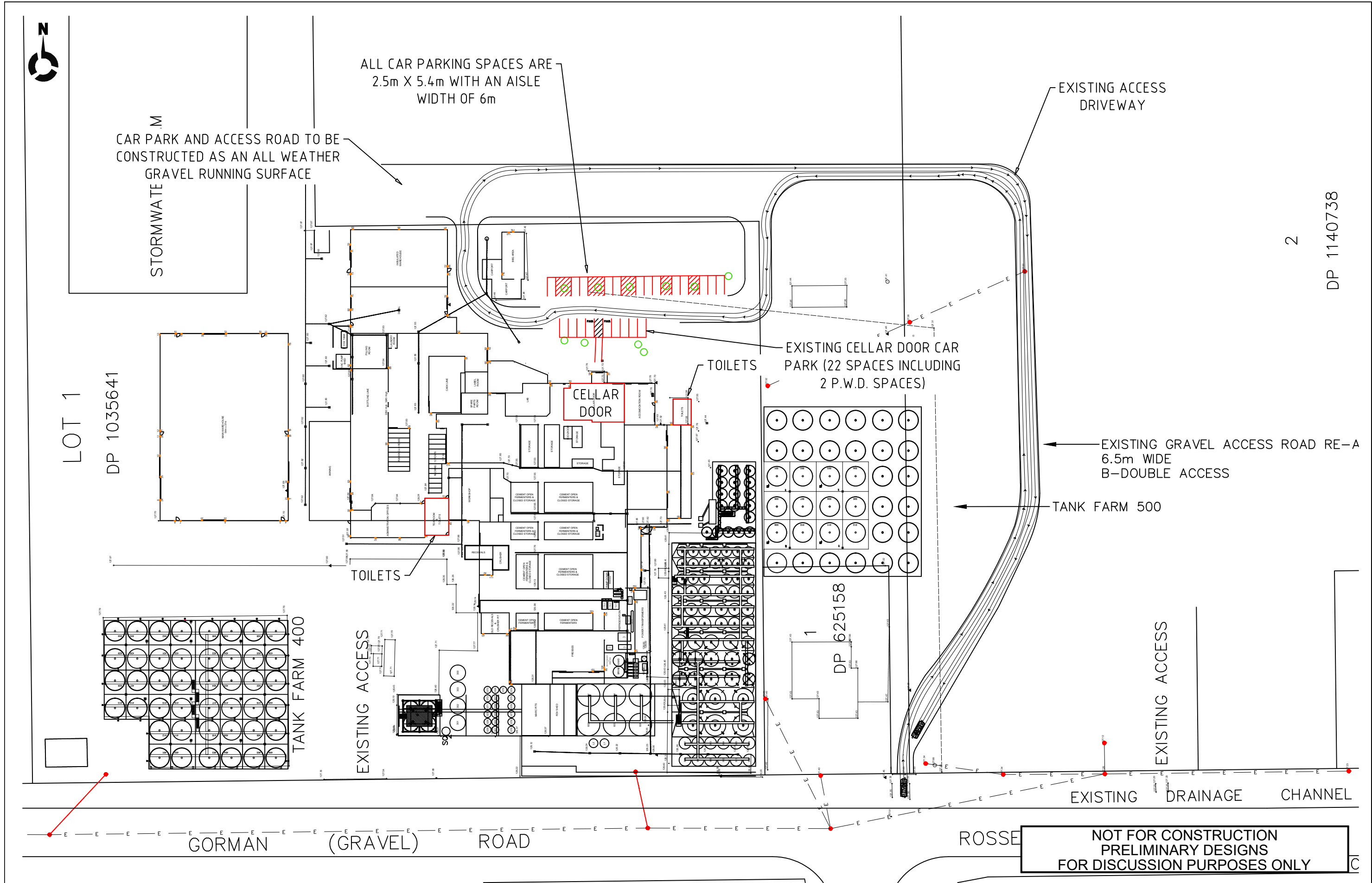
DRAWING TITLE
CAR PARK LAYOUT - WITH AERIAL

CLIENT
DEE VINE ESTATE

PROJECT
STORAGE TANKS DA

LOCATION
576 ROSSETO ROAD, BEELBANGERA NSW

DRAWING DATE	17 MARCH 2021	DRAWN BY	D.O.
ORIGINAL SIZE	A1	CHECKED BY	D.I.
SCALE	SCALE A3: 1:1000	APPROVED BY	D.I.
		PROJECT NO.	1073
		DRAWING NO.	SK01
		REVISION	2



REVISION	DESCRIPTION	BY	DATE
1	ORIGINAL ISSUE	D.O.	09.03.2021
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DRAWING TITLE
CLIENT
PROJECT
LOCATION

CAR PARK LAYOUT
DEE VINE ESTATE
STORAGE TANKS DA
576 ROSSETO ROAD, BEELBANGERA NSW

DRAWING DATE	17 MARCH 2021	DRAWN BY	D.O.
ORIGINAL SIZE	A1	SCALE A3:	1:1000
SCALE	0 10 20 30m	CHECKED BY	D.I.
APPROVED BY	PROJECT NO.	D.I.	
		DRAWING NO.	1073
		REVISION	SK02 2



CELLAR DOOR



TOILETS



DISABLED TOILETS