

PROPOSED DUAL OCCUPANCY
AT No 2 HARDIMAN WAY CRN WITH GILMARTIN DRIVE GRIFFITH
LOT 118 DP 1248542
NSW FOR PANARELLO FAMILY

FT
S T U D I O
design



Frank Tabotta
Residential, Commercial and Industrial Design

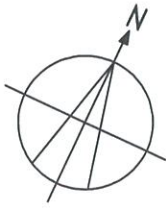
9 Doongara St. Griffith NSW 2680
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EMAIL: ftabotta@gmail.com



Job No:	Drawing No:	0-10
Date: JUNE 2020	Scale:	Issue No:
Designed:	Drawn:	Checked:

SITE PLAN

SITE BOUNDARIES TO BE VERIFIED BY REGISTERD SURVEYOR



HARDIMAN WAY

TRAFFIC ISLAND

MODULAR FENCE SYSTEM TO MANUFACTURER'S SPECIFICATIONS

CONNECT STORMWATER PIPES FROM DOWNPIPES TO DRAIN INTO KERB & GUTTER

LOT 128

LOT 117

LOT 118
1065 SQM

PROPOSED VILLA 2
205 SQM

PROPOSED VILLA 1
250 SQM

GILMARTIN DRIVE

CONNECT STORMWATER PIPES FROM DOWNPIPES TO DRAIN INTO KERB & GUTTER

Figured dimensions to be used in preference to scaled dimensions.
Contractor must verify all dimensions on site.
Refer any discrepancies to Building Designer

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Frank Tabotta
Residential, Commercial and Industrial Design
9 Doongara St. Griffith NSW 2680
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Project
PROPOSED DUAL OCCUPANCY AT LOT 118 HARDIMAN WAY GRIFFITH NSW FOR PANARELLO FAMILY

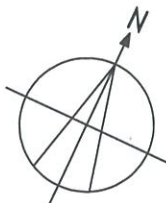
Drawing Title
Client

Job No.	Drawing No.
Date: JUNE 2020	Scale: 1:200
Designed:	Drawn:
Issue No.	Checked:

1-10

PRELIMINARY SUBDIVISION PLAN

TOTAL ALLOTMENT AREA OF LOT 118 = 1065 SQM
LOT A IS PROPOSED TO BE APPROX 575 SQM
LOT B IS PROPOSED TO BE APPROX 490 SQM
EXACT BOUNDARY DIMENSIONS TO BE VERIFIED BY A REGISTERED SURVEYOR
ALL SERVICES ARE TO BE CONFIRMED ON SITE VIA DIAL BEFORE YOU DIG



HARDIMAN WAY

LOT B=490 SQM

LOT 128

PROPOSED VILLA 2

EXISTING SEWER EASEMENT 3m WIDE
BOUNDARY LINE

PROPOSED EASEMENT FOR SEWER 3m WIDE

PROPOSED VILLA 1

LOT 117

LOT A=575 SQM

GILMARTIN DRIVE

Figured dimensions to be used in preference to scaled dimensions.
Contractor must verify all dimensions on site.
Refer any discrepancies to Building Designer

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PROJECT_MANAGER

bda BUILDING DESIGNERS AUSTRALIA NSW

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AD

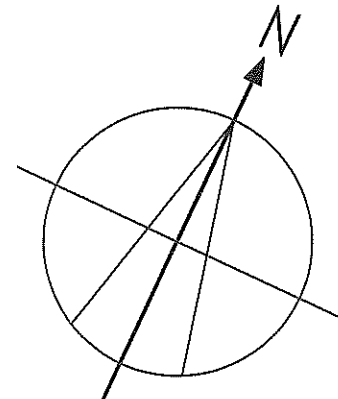
Project

**PROPOSED DUAL OCCUPANCY
AT LOT 118 HARDIMAN WAY GRIFFITH
NSW FOR PANARELLO FAMILY**

Drawing Title

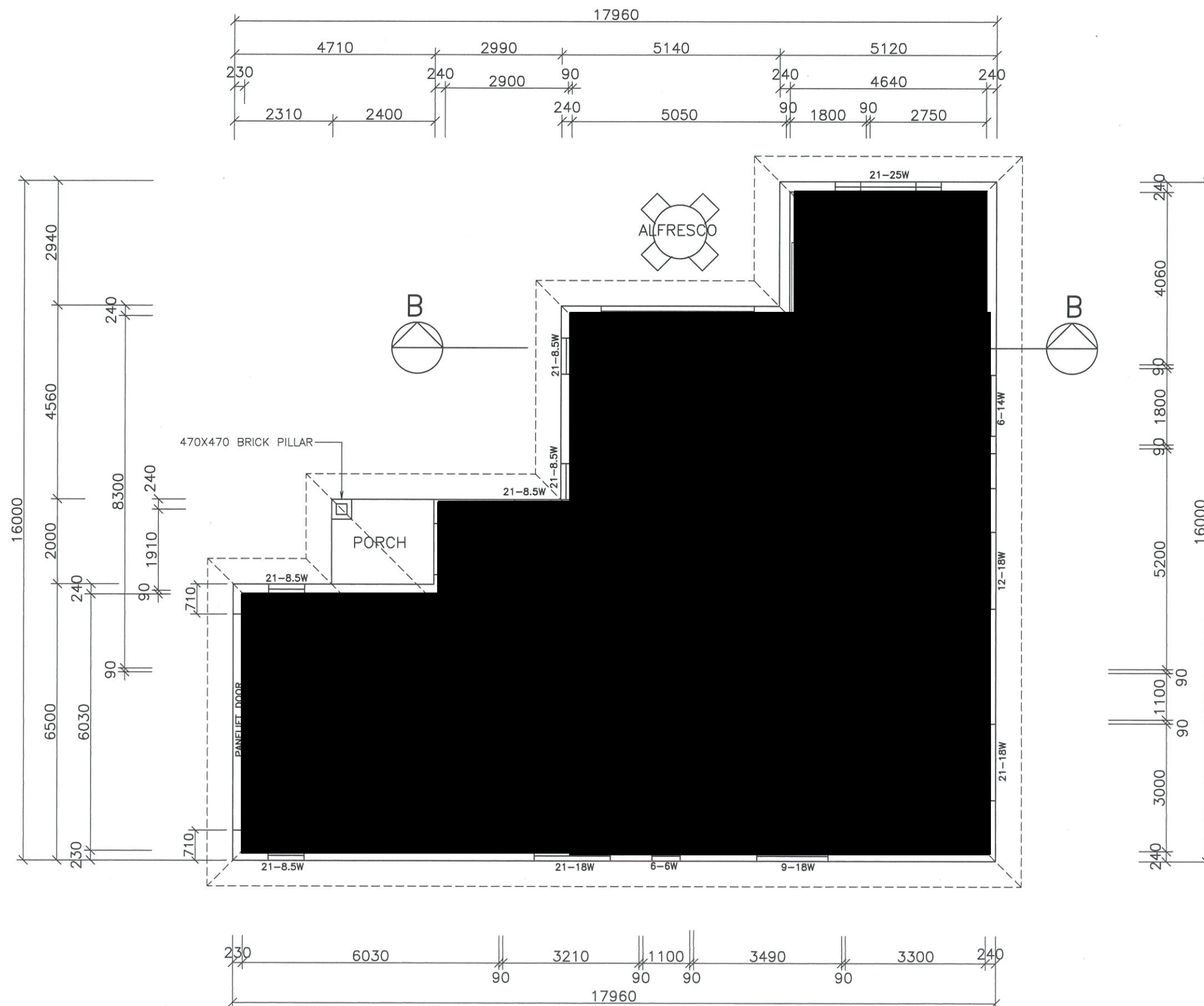
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Date: JUNE 2020	Scale: 1:200	Issue No.
Designed:	Drawn:	Checked:



⊙SA SMOKE ALARM LOCATIONS ARE TO COMPLY WITH AS 3786

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	Date: JUNE 2020		Scale: 1:100		Issue No:								
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⊙SA SMOKE ALARM LOCATIONS ARE TO COMPLY WITH AS 3786

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<div style="display: flex; justify-content: space-between;"> <div> <p>Job No:</p> </div> <div> <p>Drawing No: 4-10</p> </div> </div>						
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BUILDER IS TO ENSURE THE BUILDING MEETS ALL REQUIREMENTS OF THE BASIX CERTIFICATE ISSUED WITH THESE PLANS, INCLUDING THE FOLLOWING:

VILLA 1

HOT WATER SYSTEM TO BE GAS INSTANTANEOUS WITH MINIMUM 6 STAR RATING
GAS COOKTOP TO BE USED WITH UNDERBENCH ELECTRIC OVEN
3 PHASE REVERSE CYCLE AIR CONDITIONING TO BE USED WITH ENERGY RATING OF EER 3.5-4.0 FOR COOLING CYCLE & EER 3.5-4.0 FOR HEATING CYCLE
INSULATION TO WALLS TO BE MINIMUM R2.5 BATTS
INSULATION TO CEILING TO BE MINIMUM R4 BATTS
INSULATION TO ROOF TO BE 55mm FOIL BLANKET SARKING

ARTIFICIAL LIGHTING

LED LIGHTING IS REQUIRED TO BE INSTALLED TO ALL LIVING AREAS INCLUDING THE KITCHEN AS WELL AS BEDROOMS, BATHROOM, ENSUITE, HALLWAYS AND LAUNDRY

WATER

TOTAL AREA OF GARDEN AND LAWN TO BE IRRIGATED = 163 SQM
AREA OF INDIGENOUS OR LOW WATER USE SPECIES = 50 SQM
NO RAINWATER TANKS REQUIRED FOR THIS DWELLING

SHOWER HEADS TO HAVE MINIMUM RATING OF 4
TOILET FLUSHING SYSTEM TO HAVE A MINIMUM RATING OF 5
KITCHEN TAPS ARE TO HAVE A MINIMUM RATING OF 5
BASIN AND VANITY TAPS ARE TO HAVE A MINIMUM RATING OF 5

WINDOWS & DOORS

GENERALLY, WINDOWS & DOORS ARE TO BE STANDARD ALUMINIUM FRAMED WITH SINGLE GLAZING Hi-Tsol Low-e/clear GLASS
ENTRY DOOR UNIT TO BE SOLID TIMBER PANEL WITH FIXED GLASS INSERTS
SEE BASIX CERTIFICATE FOR U VALUE & SHGC RATING FOR EACH INDIVIDUAL WINDOW

AREAS

ALLOTMENT AREA = 1065 SQM
AREA OF VILLA 1 = 250 SQM
AREA OF VILLA 2 = 205 SQM
TOTAL DRIVEWAY AREA = 65 SQM
REMAINING AREA = 441 SQM = APROX 51%
VILLA 1 PRIVATE OPEN SPACE = 77 SQM
VILLA 2 PRIVATE OPEN SPACE = 120 SQM

VILLA 2

HOT WATER SYSTEM TO BE GAS INSTANTANEOUS WITH MINIMUM 6 STAR RATING
GAS COOKTOP TO BE USED WITH UNDERBENCH ELECTRIC OVEN
3 PHASE REVERSE CYCLE AIR CONDITIONING TO BE USED WITH ENERGY RATING OF EER 3.5-4.0 FOR COOLING CYCLE & EER >4.0 FOR HEATING CYCLE
INSULATION TO WALLS TO BE MINIMUM R2.5 BATTS
INSULATION TO CEILING TO BE MINIMUM R4 BATTS
INSULATION TO ROOF TO BE 55mm FOIL BLANKET SARKING

ARTIFICIAL LIGHTING

LED LIGHTING IS REQUIRED TO BE INSTALLED TO ALL LIVING AREAS INCLUDING THE KITCHEN AS WELL AS BEDROOMS, BATHROOM, HALLWAYS AND LAUNDRY

WATER

TOTAL AREA OF GARDEN AND LAWN TO BE IRRIGATED = 130 SQM
AREA OF INDIGENOUS OR LOW WATER USE SPECIES = 50 SQM
NO RAINWATER TANKS REQUIRED FOR THIS DWELLING

SHOWER HEADS TO HAVE MINIMUM RATING OF 4
TOILET FLUSHING SYSTEM TO HAVE A MINIMUM RATING OF 5
KITCHEN TAPS ARE TO HAVE A MINIMUM RATING OF 5
BASIN AND VANITY TAPS ARE TO HAVE A MINIMUM RATING OF 5

WINDOWS & DOORS

GENERALLY, WINDOWS & DOORS ARE TO BE STANDARD ALUMINIUM FRAMED WITH SINGLE GLAZING Hi-Tsol Low-e/clear GLASS
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SEE BASIX CERTIFICATE FOR U VALUE & SHGC RATING FOR EACH INDIVIDUAL WINDOW

SPECIFICATION

GENERAL

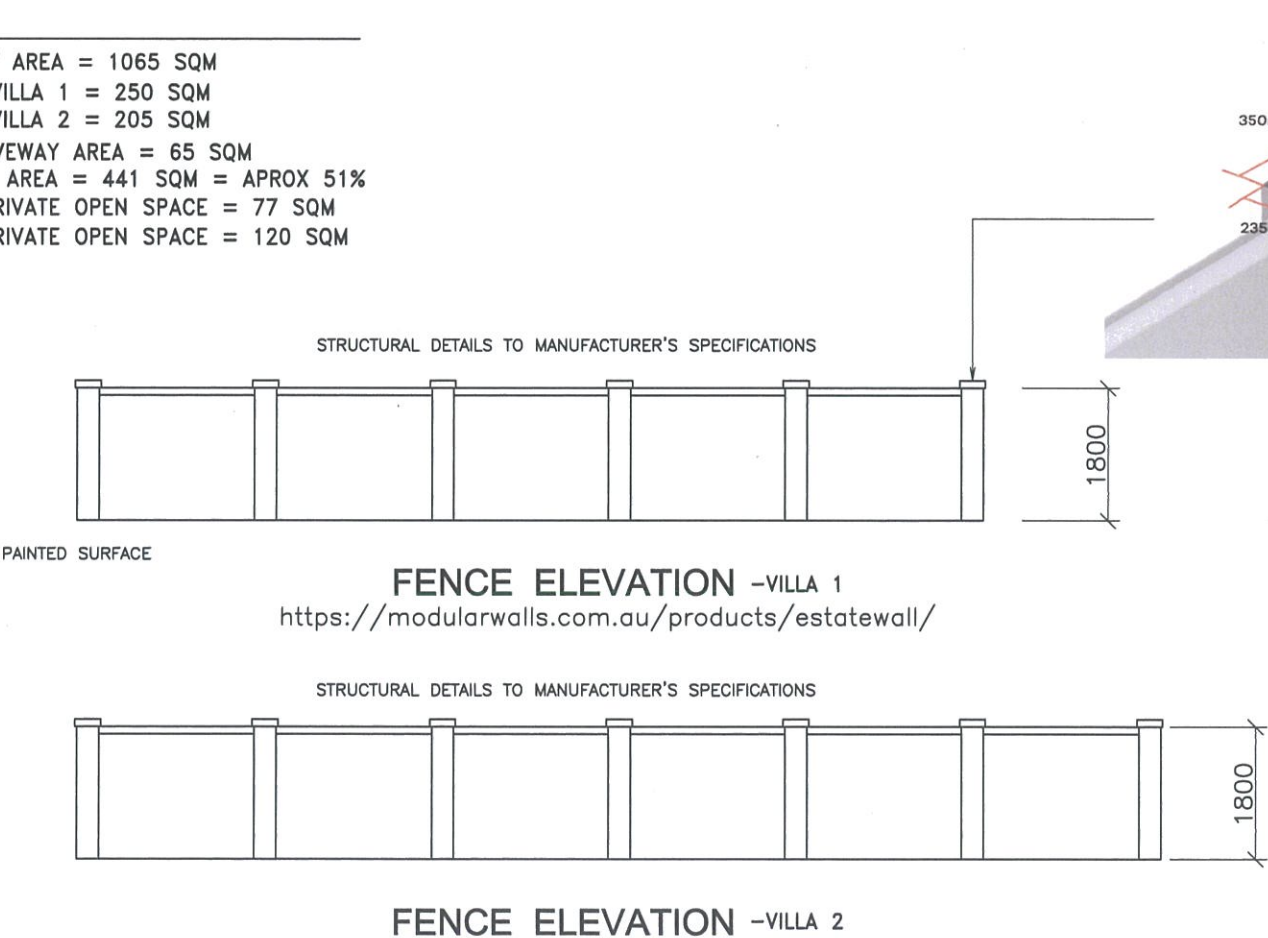
- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimetres unless noted otherwise.
- All dimensions shall be verified on site.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- BCA refers to the Building Code of Australia - Volume 2, Housing Provisions.



STATUTORY REQUIREMENTS

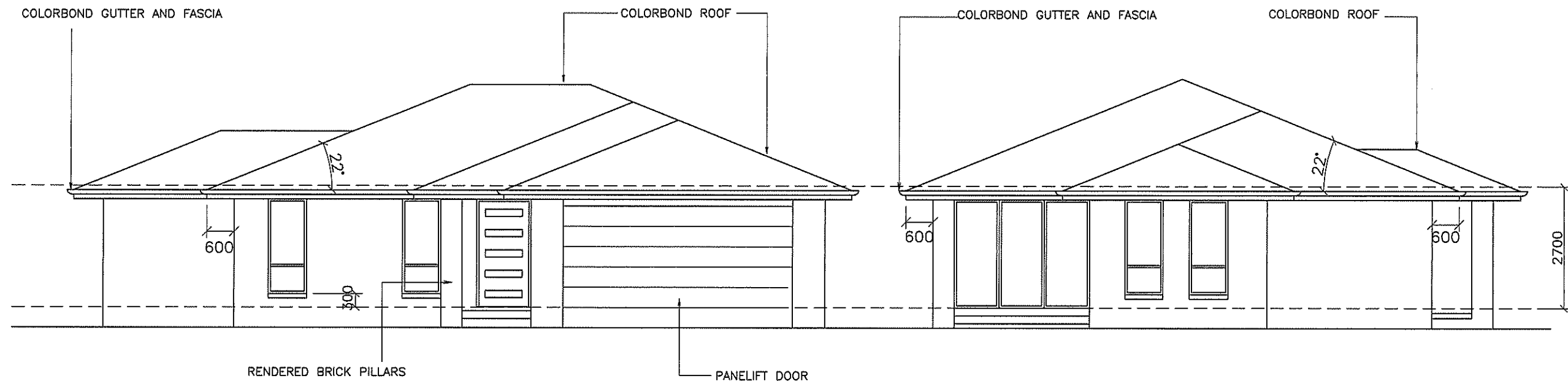
- All work to be carried out in accordance with the BCA, conditions imposed by the local authority and the commitments outlined in the relevant Basix certificate.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building Act.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner.
On completion the builder shall remove the convenience.

BCA REQUIREMENTS

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of BCA.
- All excavations and underfloor fill shall...be in accordance with the engineer's details and Part 3.2.2 of BCA.
- Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.3 of BCA.
- Provide adequate cross ventilation 'to space under suspended ground floors in accordance with Part 3.4.1 of BCA. Sub floor access 'to be provided as indicated on plan.
- Stormwater drainage shall be carried out in accordance with Part 3.1.2 of BCA.
- All timber framework shall comply with Part 3.4.2 of BCA or AS1684.
- Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- Strip and sheet flooring shall be installed in accordance with AS1684.
- All metal fittings used in structural timber joints and bracing must have corrosion protection.
- Steel framing shall be in accordance with manufacturer's recommendations and Part 3.4.2 of BCA.
- All roof cladding shall comply with Part 3.5.1 of BCA and be installed in accordance with manufacturer's recommendations.
- Gutters and down pipes shall be in accordance with Part 3.5.2 of BCA.
- Sarking shall comply with AS/NZS4200.1&2. '
- Flashings shall comply with Part 3.3.4 of BCA.
- Clay brickwork shall comply with Part 3.3 of BCA, AS/NZS4455, AS/NZS4456 & AS3700.'
- Damp proof courses shall comply with Part 3.3.4 of BCA
- Cavity ventilation must be provided in accordance with Part 3.3.4 of BCA.
- Mortar shall comply with Part 3.3.1 of BCA and joint tolerances shall be in accordance with AS3700.
- Masonry accessories shall comply with Part 3.3.3 of BCA. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with Part 3.3.3 of BCA and be protected from corrosion in accordance with Part 3.4.4 of BCA.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of BCA. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations.
- All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in the Schedule of Works.
- Windows and doors shall be manufactured and installed in accordance with AS2047.
- All glazing shall comply with Part 3.6 of BCA.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3500, and be carried out by a licensed plumber.
- All electrical work shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed electrician.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Provide and install hard wired smoke alarms in accordance with AS3786 and Part 3.7.2 of BCA.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.
- Building is to be sealed to the requirements of Part 3.12.3 of BCA, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW Part 3.12.5 of BCA, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.

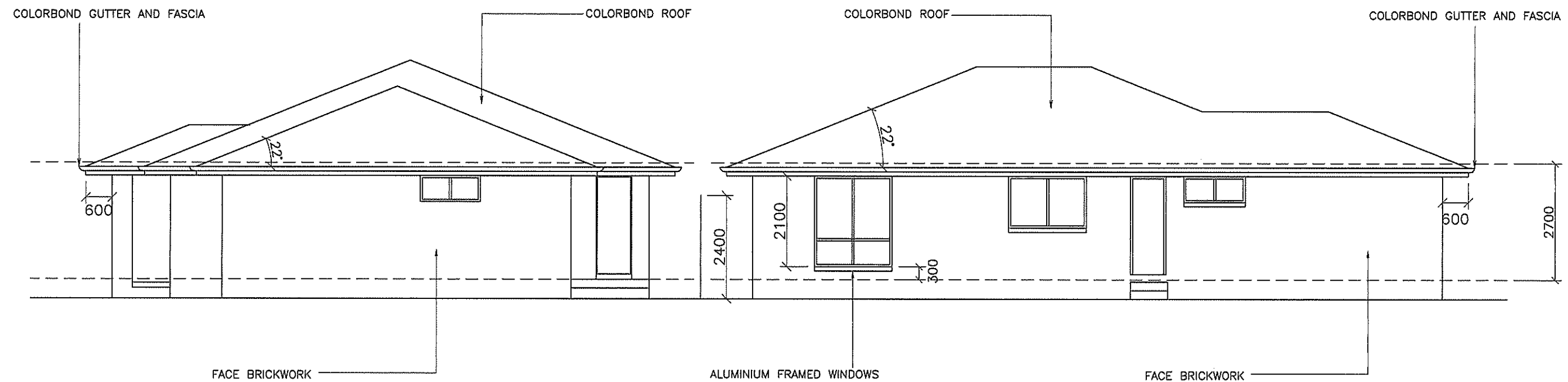


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SW ELEVATION - VILLA 2

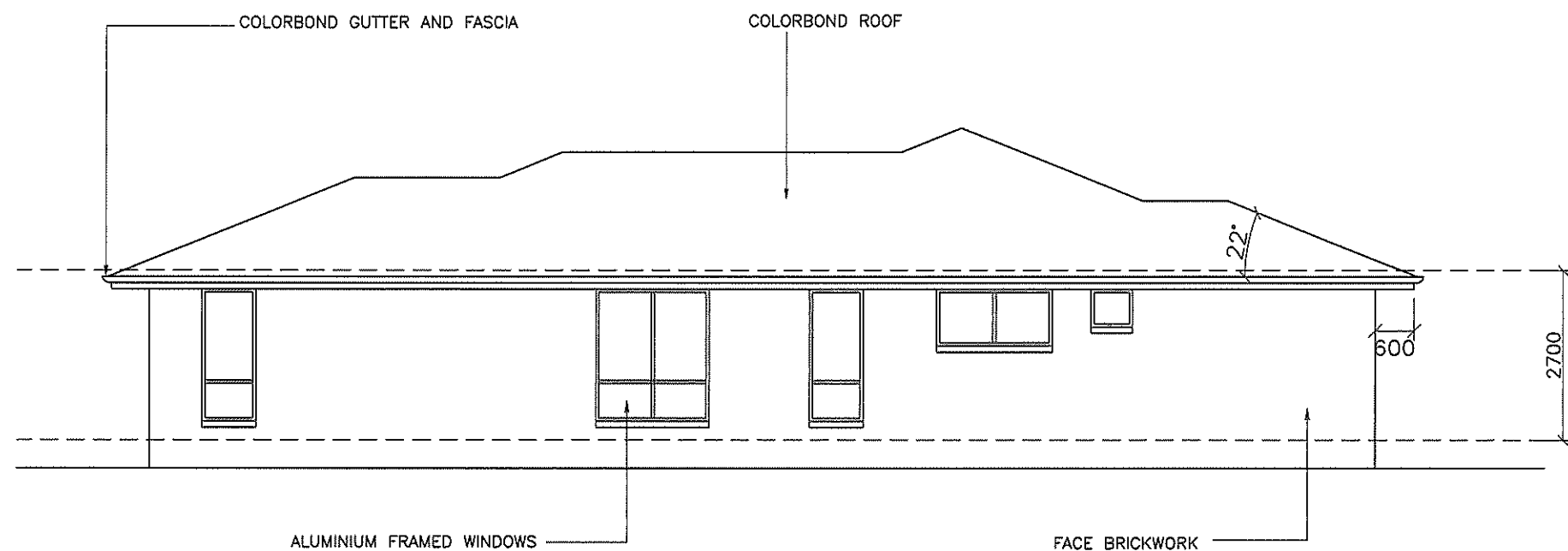
SW ELEVATION - VILLA 1



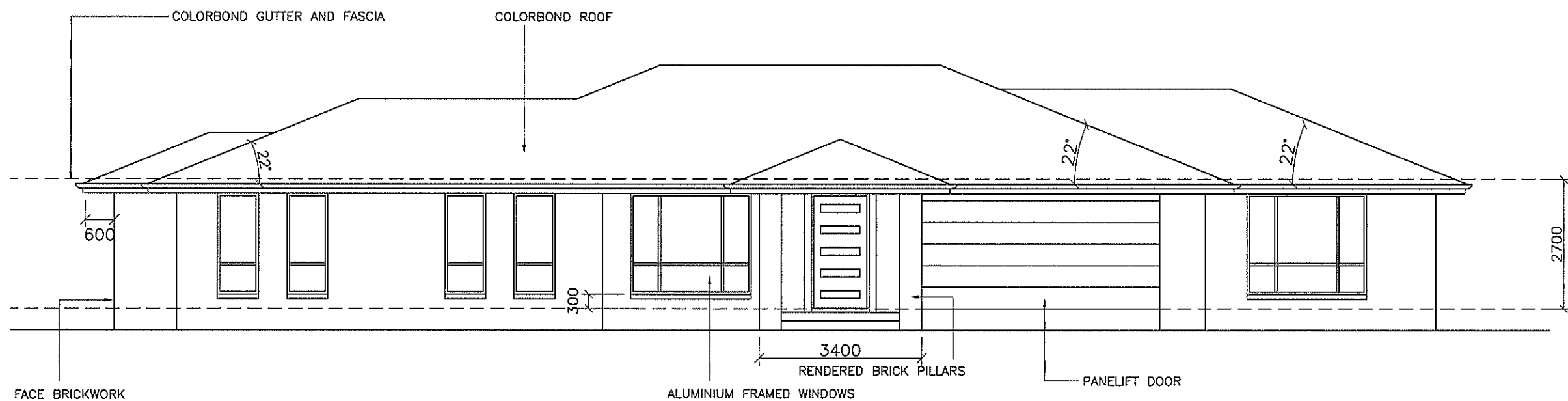
NE ELEVATION - VILLA 1

NE ELEVATION - VILLA 2

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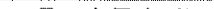
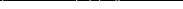
SE ELEVATION - VILLA 2

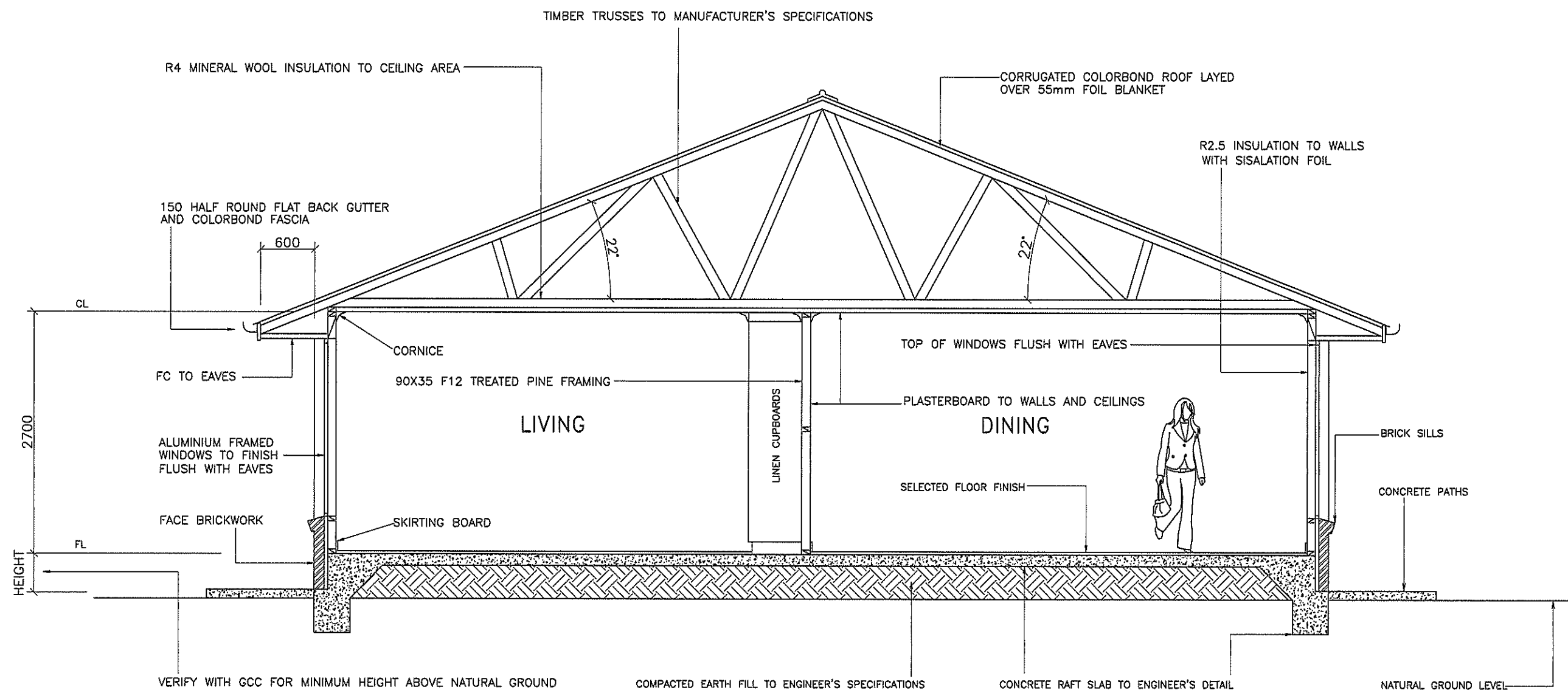



SE ELEVATION - VILLA 1

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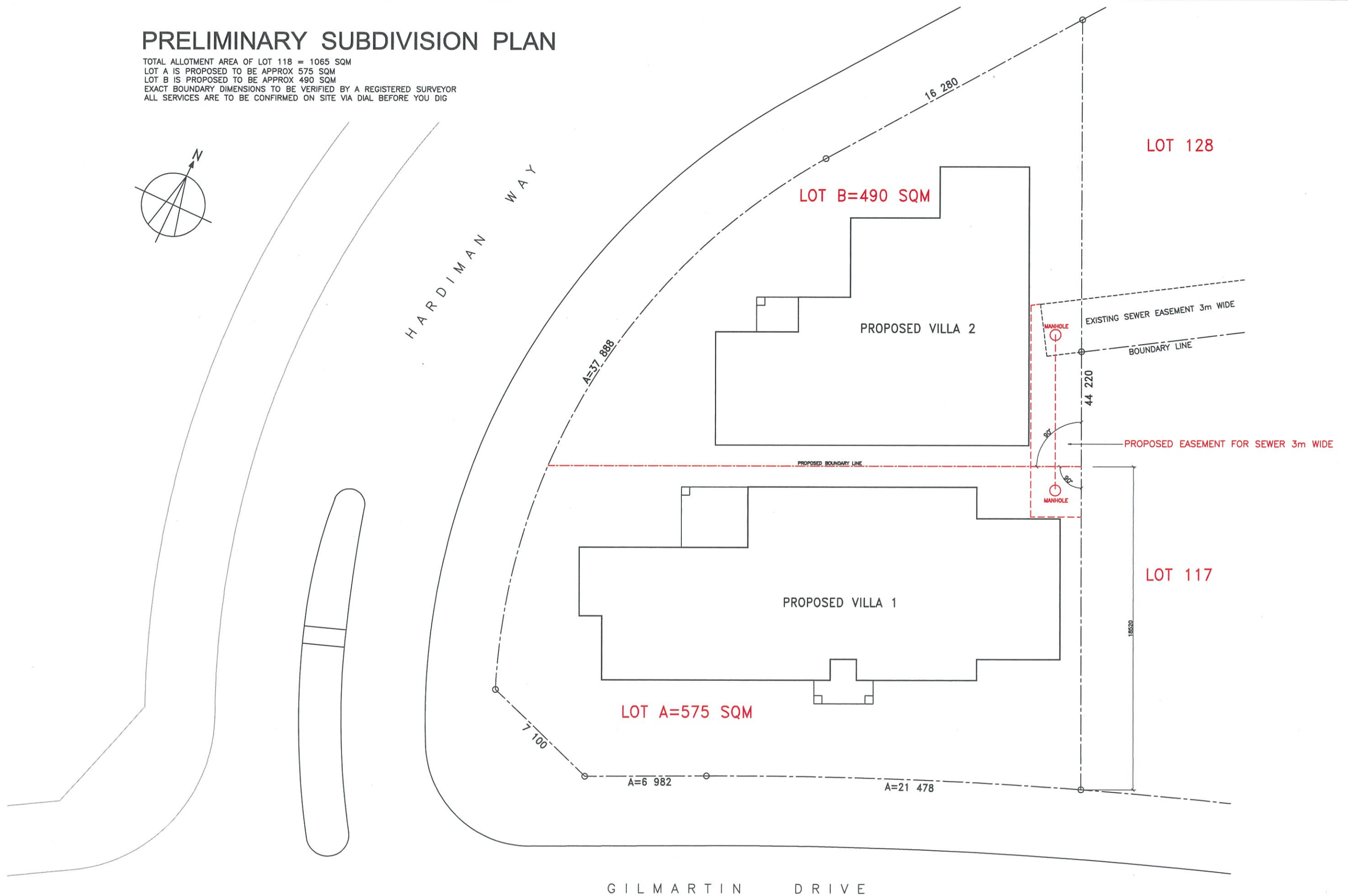
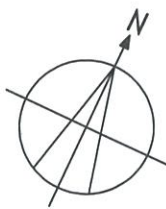




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