

PROPOSED DUAL OCCUPANCY
AT No 9 CNR DICKSON RD & NELSON DV GRIFFITH NSW
LOT 2 DP 1017859
FOR MR & MRS R&L DE MARCO

FT
S T U D I O
design

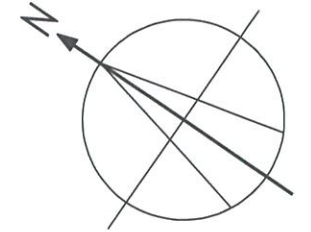
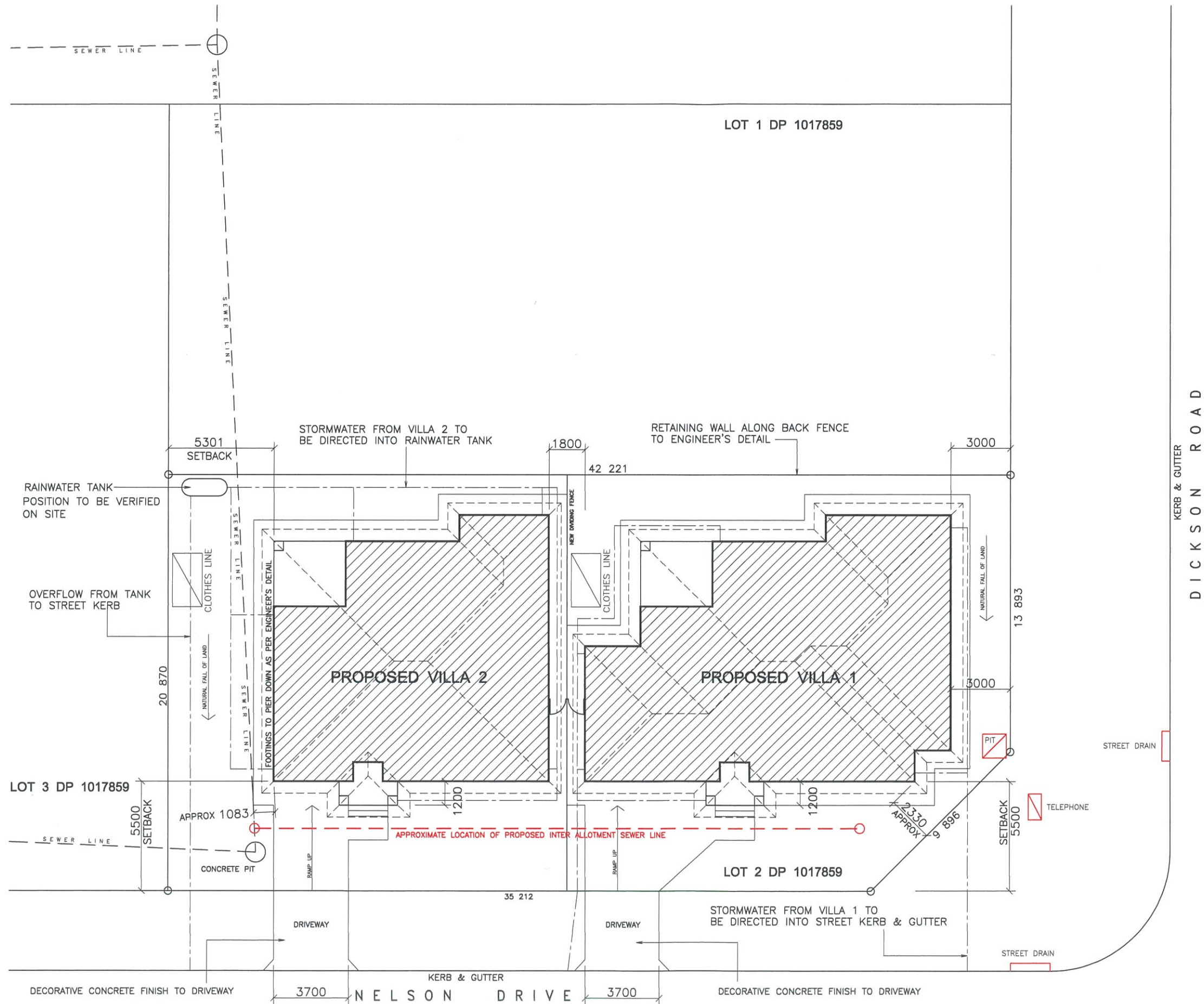


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Job No:	Drawing No:	0-08
Date: MAY 2020	Scale:	Issue No:
Designed:	Drawn:	Checked:



SITE PLAN

Figured dimensions to be used in preference to scaled dimensions.
Contractor must verify all dimensions on site.
Refer any discrepancies to Building Designer

ISSUE	DATE	DESCRIPTION	DRAWN	CHECKED	PROJECT_MANAGER



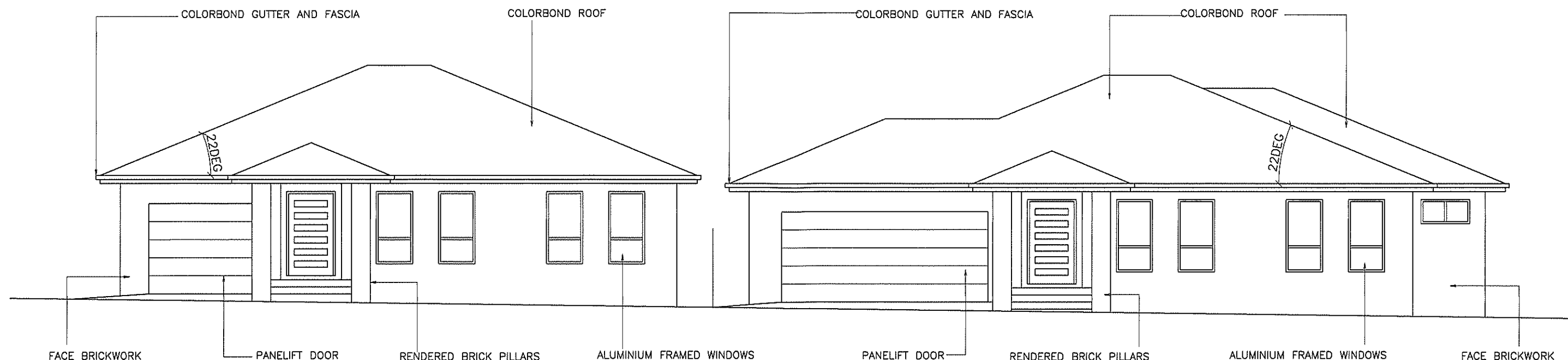
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Project
PROPOSED DUEL OCCUPANCY AT LOT 2 DP 1017859 CNR DICKSON RD & NELSON DR GRIFFITH FOR DE MARCO

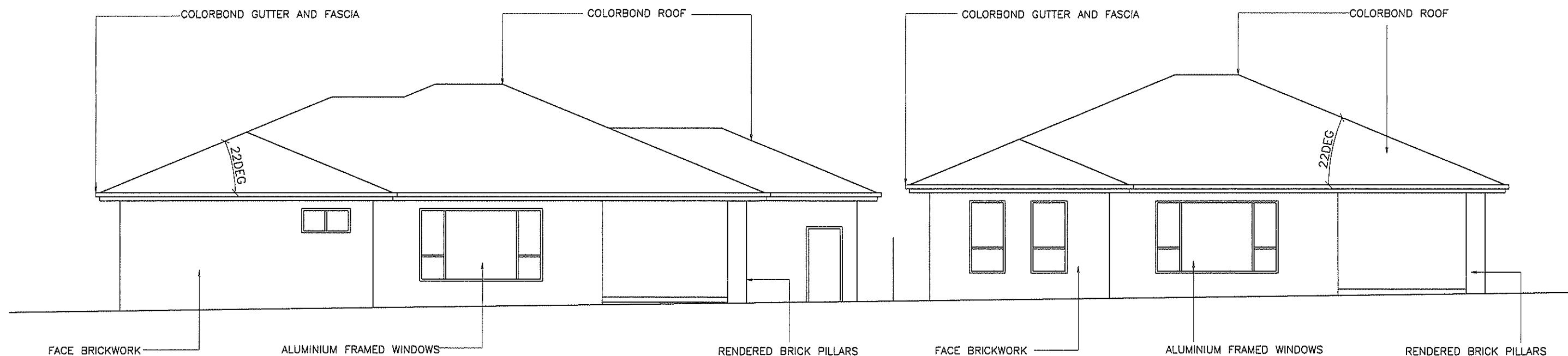
Drawing Title
Client
RALPH & LUCIA

Job No.	Drawing No.	Issue No.
	1-08	
Date: MAY 2020	Scale: 1:200	Designed:
Drawn:	Checked:	



SW ELEVATION - VILLA 2

SW ELEVATION - VILLA 1



NE ELEVATION - VILLA 1

NE ELEVATION - VILLA 2

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PROJECT_MANAGER
bda BUILDING DESIGNERS AUSTRALIA NSW

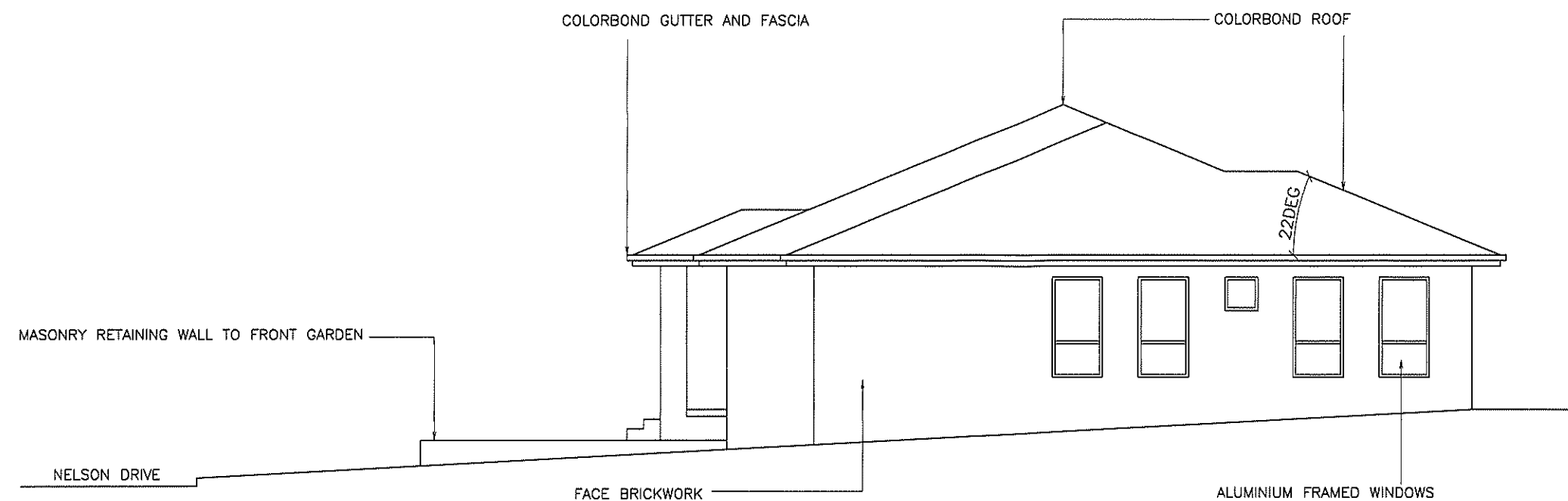
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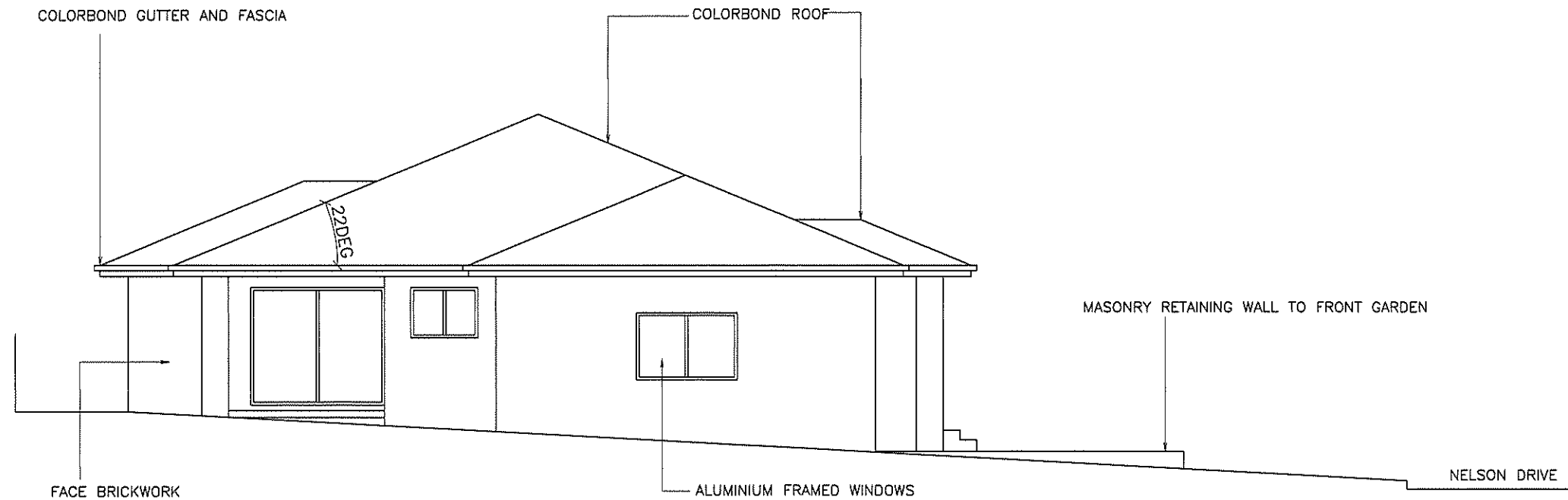
Project
**PROPOSED DUEL OCCUPANCY AT
LOT 2 DP 1017859 CNR DICKSON RD &
NELSON DR GRIFFITH FOR DE MARCO**

Drawing Title
Client
RALPH & LUCIA



Job No.	Drawing No.	4-08
Date: MAY 2020	Scale: 1:100	Issue No.
Designed:	Drawn:	Checked:

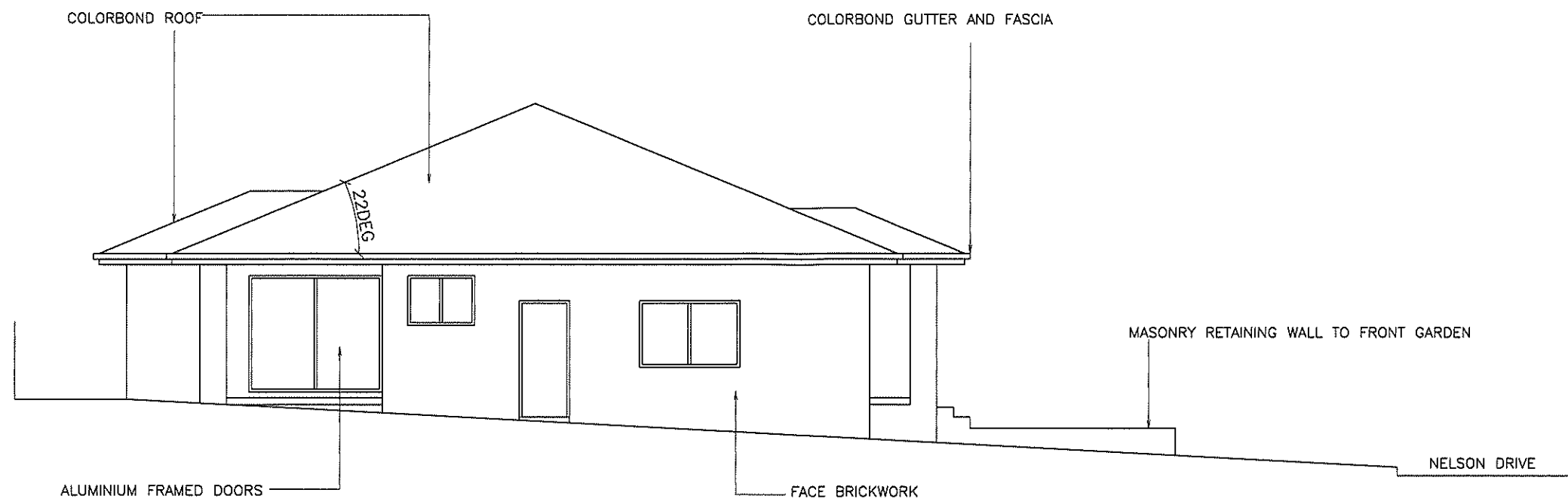


SE ELEVATION - VILLA 1

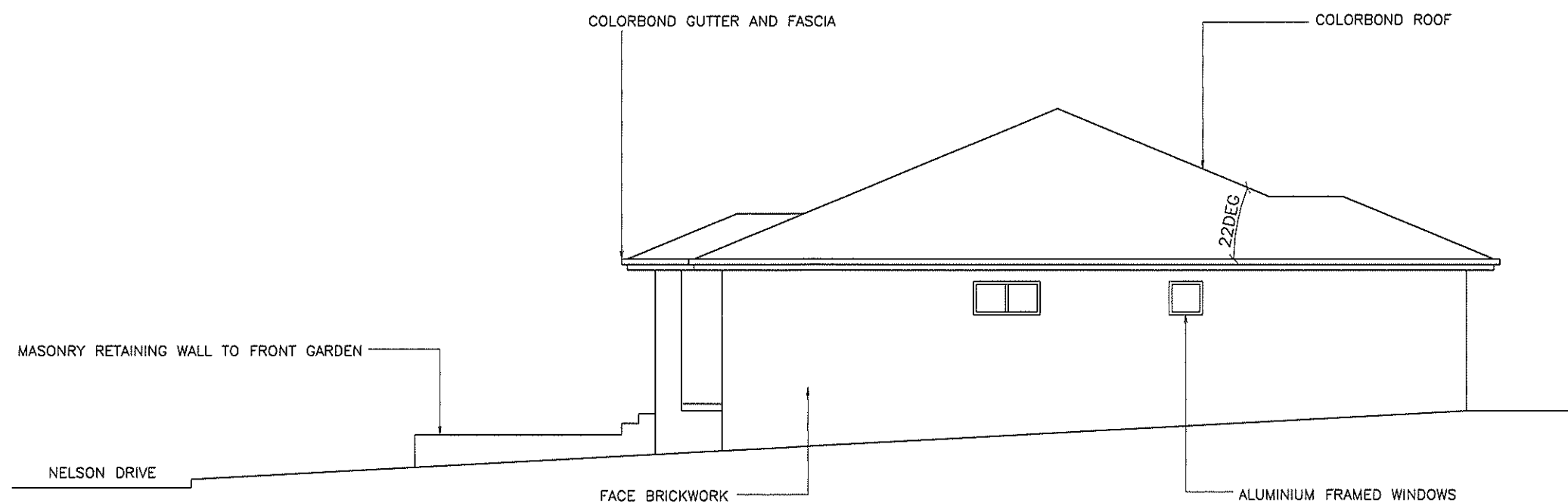


NW ELEVATION - VILLA 1



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NW ELEVATION - VILLA 2



SE ELEVATION - VILLA 2

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BUILDER IS TO ENSURE THE BUILDING MEETS ALL REQUIREMENTS OF THE BASIX CERTIFICATE ISSUED WITH THESE PLANS, INCLUDING THE FOLLOWING:

VILLA 1

HOT WATER SYSTEM TO BE GAS INSTANTANEOUS WITH MINIMUM 6 STAR RATING
GAS COOKTOP TO BE USED WITH UNDERBENCH ELECTRIC OVEN
3 PHASE REVERSE CYCLE AIR CONDITIONING TO BE USED WITH ENERGY RATING OF
EER 3.5-4.0 FOR COOLING CYCLE & EER 3.5-4.0 FOR HEATING CYCLE
INSULATION TO WALLS TO BE MINIMUM R2.5 BATTS
INSULATION TO CEILING TO BE MINIMUM R4 BATTS
INSULATION TO ROOF TO BE 55mm FOIL BLANKET SARKING

ARTIFICIAL LIGHTING

LED LIGHTING IS REQUIRED TO BE INSTALLED TO
ALL LIVING AREAS INCLUDING THE KITCHEN
AS WELL AS BEDROOMS, BATHROOM, ENSUITE, HALLWAYS AND LAUNDRY

WATER

TOTAL AREA OF GARDEN AND LAWN TO BE IRRIGATED = 130 SQM
AREA OF INDIGENOUS OR LOW WATER USE SPECIES = 50 SQM
NO RAINWATER TANKS REQUIRED FOR THIS DWELLING

SHOWER HEADS TO HAVE MINIMUM RATING OF 4
TOILET FLUSHING SYSTEM TO HAVE A MINIMUM RATING OF 5
KITCHEN TAPS ARE TO HAVE A MINIMUM RATING OF 5
BASIN AND VANITY TAPS ARE TO HAVE A MINIMUM RATING OF 5

WINDOWS & DOORS

GENERALLY, WINDOWS & DOORS ARE TO BE STANDARD ALUMINIUM FRAMED
WITH SINGLE GLAZING Hi-Tsol Low-e/clear GLASS
ENTRY DOOR UNIT TO BE SOLID TIMBER PANEL WITH FIXED GLASS SIDELIGHT
SEE BASIX CERTIFICATE FOR U VALUE & SHGC RATING FOR EACH INDIVIDUAL WINDOW

AREAS

ALLOTMENT AREA = 857 SQM
AREA OF VILLA 1 = 199 SQM
AREA OF VILLA 2 = 158 SQM
TOTAL DRIVEWAY AREA = 59 SQM
REMAINING AREA = 441 SQM = APROX 51%
VILLA 1 PRIVATE OPEN SPACE = 68 SQM
VILLA 2 PRIVATE OPEN SPACE = 110 SQM

VILLA 2

HOT WATER SYSTEM TO BE GAS INSTANTANEOUS WITH MINIMUM 6 STAR RATING
GAS COOKTOP TO BE USED WITH UNDERBENCH ELECTRIC OVEN
3 PHASE REVERSE CYCLE AIR CONDITIONING TO BE USED WITH ENERGY RATING OF
EER 3.5-4.0 FOR COOLING CYCLE & EER >4.0 FOR HEATING CYCLE
INSULATION TO WALLS TO BE MINIMUM R2.5 BATTS
INSULATION TO CEILING TO BE MINIMUM R4 BATTS
INSULATION TO ROOF TO BE 55mm FOIL BLANKET SARKING

ARTIFICIAL LIGHTING

LED LIGHTING IS REQUIRED TO BE INSTALLED TO
ALL LIVING AREAS INCLUDING THE KITCHEN
AS WELL AS BEDROOMS, BATHROOM, HALLWAYS AND LAUNDRY

WATER

TOTAL AREA OF GARDEN AND LAWN TO BE IRRIGATED = 163 SQM
AREA OF INDIGENOUS OR LOW WATER USE SPECIES = 80 SQM
A 3,000 LITRE SLIMLINE RAINWATER TANK IS TO BE INSTALLED TO COLLECT
WATER FROM A MINIMUM 210 SQM OF ROOF AREA (ENTIRE ROOF AREA)
OVERFLOW FROM TANK TO BE DIRECTED INTO STREET KERB
SHOWER HEADS TO HAVE MINIMUM RATING OF 4
TOILET FLUSHING SYSTEM TO HAVE A MINIMUM RATING OF 6
KITCHEN TAPS ARE TO HAVE A MINIMUM RATING OF 6
BASIN AND VANITY TAPS ARE TO HAVE A MINIMUM RATING OF 6

WINDOWS & DOORS

GENERALLY, WINDOWS & DOORS ARE TO BE STANDARD ALUMINIUM FRAMED
WITH SINGLE GLAZING Hi-Tsol Low-e/clear GLASS
ENTRY DOOR UNIT TO BE SOLID TIMBER PANEL WITH FIXED GLASS SIDELIGHT
SEE BASIX CERTIFICATE FOR U VALUE & SHGC RATING FOR EACH INDIVIDUAL WINDOW

WATER

TOTAL AREA OF GARDEN AND LAWN TO BE IRRIGATED = 600 SQM
AREA OF INDIGENOUS OR LOW WATER USE SPECIES = 300 SQM
A MINIMUM 10,000 LITRE RAINWATER TANK IS TO BE INSTALLED TO COLLECT
WATER FROM A MINIMUM 599 SQM OF ROOF AREA (ENTIRE ROOF AREA)
OVERFLOW FROM TANK TO BE DIRECTED INTO DRAINAGE SYSTEM
SHOWER HEADS TO HAVE MINIMUM RATING OF 4A
TOILET FLUSHING SYSTEM TO HAVE A MINIMUM RATING OF 3A
KITCHEN TAPS ARE TO HAVE A MINIMUM RATING OF 3A
BASIN AND VANITY TAPS ARE TO HAVE A MINIMUM RATING OF 3A

SPECIFICATION

GENERAL

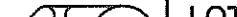

- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimetres unless noted otherwise.
- All dimensions shall be verified on site.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- BCA refers to the Building Code of Australia - Volume 2, Housing Provisions.

STATUTORY REQUIREMENTS

- All work to be carried out in accordance with the BCA, conditions imposed by the local authority and the commitments outlined in the relevant Basix certificate.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building Act.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet to be connected to sewer mains, the additional cost shall be borne by the owner.
On completion the builder shall remove the convenience.

BCA REQUIREMENTS

- All earthworks shall be in accordance with the engineer's details and Part 3.1.1 of BCA.
- All excavations and underfloor fill shall...be in accordance with the engineer's details and Part 3.2.2 of BCA.
- Primary building elements are to be protected from subterranean termites in accordance with Part 3.1.3 of BCA.
- Provide adequate cross ventilation 'to space under suspended ground floors in accordance with Part 3.4.1 of BCA. Sub floor access 'to be provided as indicated on plan.
- Stormwater drainage shall be carried out in accordance with Part 3.1.2 of BCA.
- All timber framework shall comply with Part 3.4.2 of BCA or AS1684.
- Roof trusses shall be designed in accordance with AS1720, and erected, fixed and braced in accordance with manufacturer's instructions.
- Strip and sheet flooring shall be installed in accordance with AS1684.
- All metal fittings used in structural timber joints and bracing must have corrosion protection.
- Steel framing shall be in accordance with manufacturer's recommendations and Part 3.4.2 of BCA.
- All roof cladding shall comply with Part 3.5.1 of BCA and be installed in accordance with manufacturer's recommendations.
- Gutters and down pipes shall be in accordance with Part 3.5.2 of BCA.
- Sarking shall comply with AS/NZS4200.1&2. '
- Flashings shall comply with Part 3.3.4 of BCA.
- Clay brickwork shall comply with Part 3.3 of BCA, AS/NZS4455, AS/NZS4456 & AS3700.'
- Damp proof courses shall comply with Part 3.3.4 of BCA
- Cavity ventilation must be provided in accordance with Part 3.3.4 of BCA.
- Mortar shall comply with Part 3.3.1 of BCA and joint tolerances shall be in accordance with AS3700.
- Masonry accessories shall comply with Part 3.3.3 of BCA. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with Part 3.3.3 of BCA and be protected from corrosion in accordance with Part 3.4.4 of BCA.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with Part 3.8.1 of BCA. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations.
- All timber doors and door sets shall be manufactured in accordance with AS2688 & AS2689 unless listed otherwise in the Schedule of Works.
- Windows and doors shall be manufactured and installed in accordance with AS2047.
- All glazing shall comply with Part 3.6 of BCA.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3500, and be carried out by a licensed plumber.
- All electrical work shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed electrician.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Provide and install hard wired smoke alarms in accordance with AS3786 and Part 3.7.2 of BCA.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.
- Building is to be sealed to the requirements of Part 3.12.3 of BCA, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW Part 3.12.5 of BCA, including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.

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